

## Project Summary

This paper presents mitigation strategies for impacts associated with proposed road work on 12th Street in Covington, Kentucky, KY 1120. The project area spans from the interchange with I-75 on the west, to Scott Street on the east. As a part of this project, properties along the south side of the street will be acquired, in order to gain the increased right of way.

The proposed widening of 12th Street in Covington includes:

- Expanding the right of way, into portions of properties along the south side of the street.
- Removal of structures in this path, many of which have historic significance.
- Addition of 1 travel lane in each direction, as well as turn lanes.
- Construction of a 16' raised median.

The project will impact a series of districts and landmarks, which are listed in, or eligible for listing in, the National Register of Historic Places. These include numerous structures determined to be “contributing” to the significance of these districts.

The Section 106 process identified the need for a Redevelopment Plan that would guide improvements in the project area. The City of Covington initiated and is funding this plan which is intended to work in conjunction with the roadway improve-

ment project. Enhancement projects that were originally conceived of as possible redevelopment projects, as well as some that may be coordinated with the roadway project are developed further in the forthcoming Redevelopment Plan. While the Redevelopment Plan does consider impacts to historic resources in the area, it focuses on the opportunities for compatible infill projects and supports the economic viability of the area. Structures and sites along the north side of 12th Street and in the surrounding area are included in the redevelopment conceptual planning.

### Resources on the north side of 12th Street:

- The Bavarian Brewery, National Register listed 1996,
- The Westside Neighborhood Historic District, National Register eligible,
- The Lee Holman Historic District, National Register listed 1996,
- The Seminary Square Historic District, National Register listed 1980 and
- The Cathedral Basilica of the Assumption, National Register listed 1973

### Resources on the south side of 12th Street:

- The East Lewisburg Historic District, National Register eligible and
- The Helentown Historic District, National Register listed 1987

## Introduction



*Many of the structures in the expansion pathway which are determined to have historic significance will be negatively affected by the 12th Street project.*

**It is important to note that the design proposals in this paper are limited to those intended to mitigate the negative impacts on historic resources in the path of the 12th Street project only, a mitigation as defined in Section 106 of the National Historic Preservation Act.**

## Introduction...



*Shade trees appear in random placements along the street, as part of private yard landscapes.*



*A corner store with a residence above is a special building type that contributes to the character of 12th Street.*

Of these districts, those on the north will be affected by a loss in character of the facing, south side. Those districts on the south will suffer more extensive loss of character, with removal of historic structures and loss of historic site plans and landscapes.

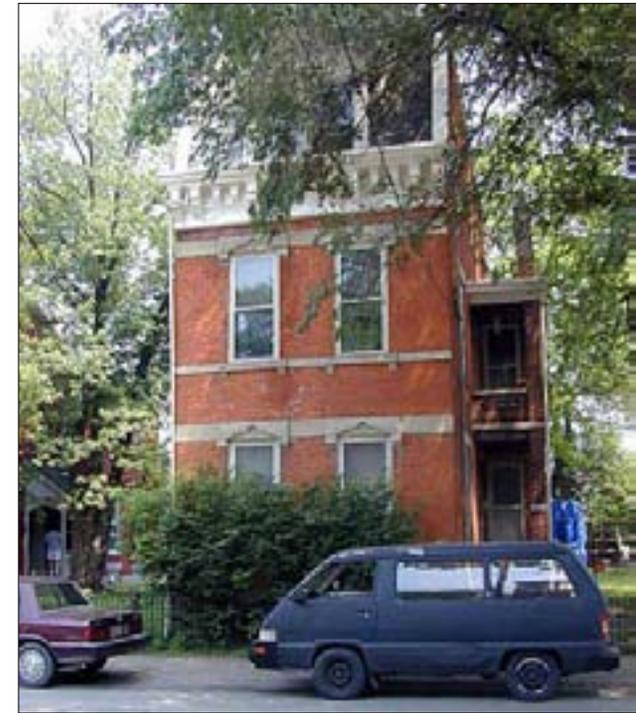
Many of the structures in the expansion pathway which are determined to have historic significance will be negatively affected. Section 106 of the National Historic Preservation Act provides a process by which consulting parties may engage in a discussion of alternatives and of methods to mitigate these impacts. This paper outlines the steps to mitigate the impacts of widening 12th Street. It is produced as a part of the Section 106 Review process.

### The Mitigation Strategy

The proposals assume an innovative approach to highway engineering, historic preservation and community development. Some of the actions outlined would require special initiatives, especially with respect to city regulations. For example, one proposal is to save several historic buildings and reposition them on remnant lots that result from the road widening. These lots may not meet current city regulations for minimum lot sizes and building setbacks. Special site plan reviews will probably be required.

The assumptions are:

- Some city land use regulations would need to be addressed, through rezoning or some form of variance.



*A Covington style side entry residence*

- Some coordinated redevelopment would be needed for some projects.
- Special redevelopment plans for key blocks would need to be developed for city adoption in order to implement some of the ideas.

It is also important to note that mitigation strategies vary, to some extent, for the two different sides of the street. Streetscape enhancements cannot mitigate the impacts of the south side. More ambitious strategies for preservation of some structures and revitalization of the street edge are needed on the south side.

### **Scope of the Report**

It is important to realize that this paper is a product for a Memorandum of Agreement to be developed between the Kentucky Transportation Cabinet and the State Historic Preservation Officer. This report is not an official neighborhood plan, although it provides ideas for consideration as the city pursues zoning amendments, a redevelopment plan and other community planning policies. It also is limited to actions that will directly mitigate the negative impacts on historic resources. The 12th Street Area Redevelopment Plan, which has been authorized and funded by the City of Covington, will function as a planning document to guide local improvement initiatives associated with the roadway project.

### **Relationship to existing city design standards**

Some basic historic preservation guidelines are presented in this paper. They are intended to supplement the city's official preservation guidelines, which are written to apply city-wide. The guidelines in this paper help to provide more detail about some of the unique design issues that are associated with the highway project. These guideline help interpret the Secretary of the Interiors standards as this apply to this project.

### **Key Features of Historic 12th Street**

The character of the streetscape along 12th Street in Covington is unique with elements defining the character along the street. A review of the character defining features is presented with a summary of the principles that serve as the foundation for the design concepts along the 12th street



*The 12th Street Redevelopment Plan, funded by the City of Covington, will function as a planning document to guide local improvement initiatives associated with the roadway project.*

corridor; a description of its historic character and key defining features; and a description of the existing framework. These elements along with basic preservation and urban design principles provide the basis for the mitigation strategies.

# Summary of Recommended Actions



*The intersection of Madison and 12th*



*A portion of the front and side yards of the Centro de Armistad (the former Children's Law Center) building will be taken for road widening.*

The following mitigation actions are recommended:

## **Document the existing condition.**

Documentation should be to standards approved by the State Historic Preservation Officer. This may include measured drawings and photography:

- Photograph each of the buildings on the street.
- Prepare measured drawings of key properties.

## **Interpret the historic character of the area to help mitigate the loss of historic structures.**

- Provide interpretive markers along the street.
- Provide an interpretive exhibit as part of a linear park seating area or possible bus shelter.
- Develop a historic overview document.

## **Enhance the landscape of remnant properties along the south side of 12th Street, to provide a buffer to remnant properties and to integrate historic buildings along the street edge.**

- Provide a two small linear parks along the street.
- Buffer views to backs of exposed properties.

## **Assess archeological resources**

- Follow approved procedures for investigation during site disturbances.

## **Relocate and rehabilitate select historic buildings and site features.**

- Where feasible, preserve buildings and site features an estimated four to ten structures will be saved.
- If necessary, preserve the only of selected corner properties to anchor adjacent neighborhood features and entry points.

## **Provide design guidelines for relocated and infill structures along 12th Street.**

- Guidelines will provide appropriate treatment for historic properties and will provide standards for compatible infill development.

## **Next Steps:**

More detailed plans and designs will be needed for various mitigation components:

## **Building Preservation Design**

The individual properties that are identified in this report for preservation should be inspected more closely and building condition assessments should be produced. From these evaluations, final determinations of which buildings will be preserved should be made. It should be noted that as part of the historic mitigation process all buildings will be documented.

## **Streetscape Design**

The schematic streetscape design for the remnant land illustrated in this report should be re-

fined and construction documents should then be produced. This plan should be coordinated with and possibly include elements that the City of Covington would fund as part of the Redevelopment Plan process.

**Other Actions:**

The City of Covington is responsible for several of the next steps including:

**Redevelopment Plan**

A redevelopment plan for the area has been approved and begun by the City of Covington. This plan will provide specific development scenarios for individual blocks, median treatment designs, streetscape improvements as well as funding and implementation recommendations. These should be based on projections of market feasibility and services needed in the neighborhood.

**Additional Streetscape Design**

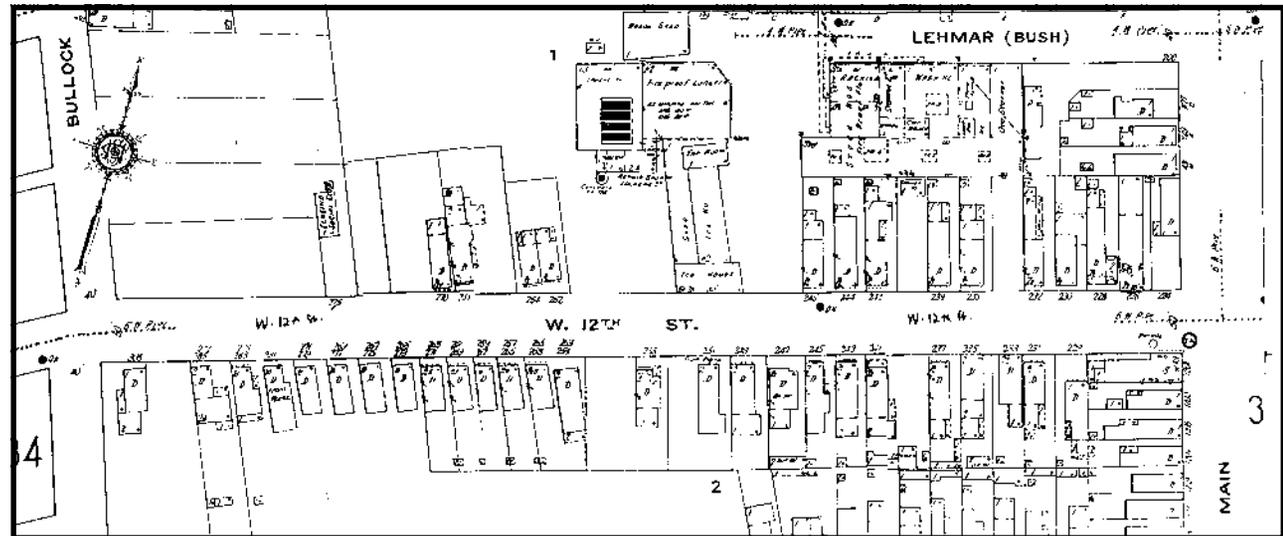
Elements of the schematic streetscape design that are not part of the roadway project, as well as projects identified by the Redevelopment Plan, should be refined and construction documents should then be produced. Actions which can be coordinated with the roadway project should be identified and prioritized. Median improvements, relocation of utilities and relocation of additional structures are potential enhancements that could be integrated into the roadway project design. All City sponsored projects that would be coordinated with the roadway project would need to be in compliance with the overall project standards.

**Establish a rehabilitation assistance program for the East Lewisburg and Helentown Historic Districts.**

- Publish a handbook of rehab tips for property owners in the neighborhood.
- Maintain a stockpile of building details from those structures to be demolished, for use in neighborhood rehabilitation projects.

# Historic Character of 12th Street

The intersection of Bullock and W. 12th Street historically served as a “gateway,” in that the Bavarian Brewery posed a massive presence, while the uniform rhythm of houses on the south side provided previews of the street character further east. In the portion just east of the brewery, a symmetrical “frame” of houses defined both sides of the street.



Map detail of 1909 - Most lots are long and narrow. Several additions are shown at the backs of buildings.



In this map detail of 1909, narrow fronts of buildings face the street in the segment of 12th Street between Lee and Holman

## Precedent for Change

Early maps illustrate the development patterns of the street. They demonstrate that individual blocks filled in over several years and additions occurred over time as well.

### The Design Traditions of 12th Street

12th Street has a unique character that distinguishes it from many other areas of Covington. It has developed over time with a variety of uses from urban residential neighborhoods with corner stores, to commercial and industrial areas while also accommodating several important public institutions. This combination of uses and its role as one of only two interstate interchanges for the City of Covington make 12th Street a familiar and heavily traveled route. It is used as a link to the Town of Newport and to downtown Covington. Several historic neighborhoods and two historic landmarks are located along 12th Street highlighting the variety of significant features and elements of the area.

### Design Topics

Some of the key relationships among properties can be described in these categories:

- Building Alignment and Orientation
- Building Elements
- Building Form and Scale
- Streetscape Elements



*Rear yards are sometimes defined with rock retaining walls. Lots are deep, in proportion to their width and most buildings are oriented with the narrow side facing the street. (12th Street, 400 West block, south side)*



*Many structures illustrate the unique "Covington" style with two bay facades and a side entry.*

## Key Features



*Streetscape elements such as wrought iron details and limestone are seen throughout the study area.*

## Key Features...



*There are minimal side setbacks between structures, which provide precedent for new development.*

The manner in which buildings and landscape features on individual lots are organized is important to the character of each block on 12th Street. When traditional features reoccur, distinct patterns emerge that contribute to the identity of the area.

Uniform building setbacks and the “Covington style” entries are key features of 12th Street. Buildings traditionally had horizontal components which aligned and were simple in form and character.

### **Building Alignment & Orientation**

Traditionally, a 12th Street house meets the street and has a uniform setback. It is generally located on a long and narrow lot with minimal side setbacks. Yards are often small, with a front and side



*Narrow lots, buildings close to the street, and raised foundations are typical features.*

section and a larger private back yard. Occasional vacant lots used as side yards, provide green space along the street.

### ***Patterns of site design include:***

- Narrow lots
- Zero setback or narrow setback
- Uniform setbacks common
- Small or nonexistent front yards
- Narrow or nonexistent side yards
- Minimal side setback between structures
- Entrances near the street
- Corner stores have angled entry
- Covington style – Side entry
- Cottages with side porches clustered on north side of 12<sup>th</sup> Street
- Horizontal features (roof lines, cornices & windows) align



*Traditionally, a 12th Street house meets the street and has a uniform setback.*

One of the most important design traditions of 12th Street is the repetition of design elements unique to the area along the street and in the surrounding neighborhoods. While the character of some blocks has changed significantly over time other blocks represent intact clusters of similar structures with distinct corner storefronts marking the ends of the blocks.

### ***Building Elements***

Building diversity is most clearly seen at the level of architectural materials and details, and yet, this diversity lies within a relatively limited range. Building materials traditionally are brick, stone and wood. Some brick is left untreated, while other is painted.

Trim elements and ornamental features vary along the street and are typically associated with specific building styles. Decorative Italianate cornices with inset windows are common along the street as are large horizontal windows with stone lintels. Corner buildings feature angled entries with wide steps and protective awnings.

While details may vary along the street, many common features occur. For example, architectural details are used with a sense of consistency on an individual building or within a time period of building. Often the style and detailing of a building is repeated in groupings of structures built in the same era.

### ***Building elements include:***

- Natural materials, including brick and limestone
- Corner shops with wide, angled covered entries
- Consistent building styles often repeated in blocks
- Windows and door openings symmetric on facade
- Stone lintels above windows and doors
- Small signs on businesses
- Covington style
- Federal (German) style
- Italianate architectural details
- Two bay facades
- Chimneys
- Steps up to front door
- Side entry with porch
- Roof cornices
- Varied roof styles/lines
- Variety of time periods represented



*Covington style side entries are common throughout the study area.*

### **Key Features...**



*Roof cornices and stone lintels above the windows are typical features.*



*Corner buildings with angled entries are found along 12th Street and contribute to the design traditions of the area.*

## Key Features...



*Corner buildings serve as anchors at the ends of blocks.*



*Structures are generally long and narrow.*



*One story buildings are scattered throughout the study area.*



*Windows set in cornices are typical features.*

### ***Building Form and Scale***

Long and narrow building forms are a part of the design character of 12th Street. Often the corner buildings are more substantial and are elongated.

### ***Traditional building forms and scales:***

- Narrow buildings
- Low sloping or flat roofs
- Gabled roofs
- Mansard roofs
- Many 2 story buildings with some 1 & 3 story buildings
- New commercial buildings out of scale & have large parking lots at the street edge
- Structures give enclosure to the street
- On street parking creates narrow travel lanes
- Structures generally long and narrow
- "Working class neighborhood" lots approximately 25' wide
- Corner stores/buildings serve as anchors at ends of block
- Urban density
- West end of 12<sup>th</sup> more densely settled
- Blocks directly West of RR Bridge less densely settled



*Corner buildings are often more substantial and are elongated.*

Many traditional design features found in private yards contribute to the streetscapes patterns. For example, the wrought iron fences that enclose small front yards along the sidewalk help delineate the street edge and define the character of 12th Street. In addition, any large trees or ornamental vegetation in the side or back yards of residential properties are key features.

### *Streetscape Elements*

Traditional elements such as street trees or a buffer between the sidewalk and the street are not evident in Covington. Instead, unique elements such as limestone walls and narrow front yards that allow for a modest planting bed are seen along the sidewalk edge.

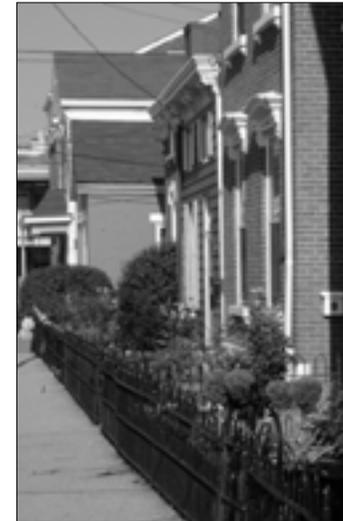


*Any large trees or ornamental vegetation in the side or back yards of residential properties contributes to the character of 12th Street.*



*Limestone walls can be found along the sidewalk edge of 12th Street.*

## **Key Features...**



*Wrought iron fences and borders are used to define small front yards.*



*Stoops and porches are on or near the sidewalk.*

## Key Features...



*Structures give enclosure to the street and on street parking creates narrow travel lanes.*



*Brick alleys contribute to the historic character of the East Lewisburg area.*

### *Streetscape Elements:*

- Narrow sidewalk
- No street trees West of RR Bridge
- Little to no buffer between sidewalk & street
- Overhead utility lines
- Trash pickup occurs on street not in alleys
- Stoops and porches along street
- Large trees located to rear of properties
- Wrought iron fences and borders used to define small front yards
- Vacant lots and side yards
- Limestone walls
- Limestone retaining wall to rear of properties on South side the 500 block
- Brick alleys found throughout the area

## Character-defining Features

Many of the character-defining features of 12th Street were established during its historic period of significance. Early photographs from 12th Street and comparable neighborhoods in the city record these landscape features that contribute to its significance:

- Green space occurred as private yards, often to the side of the structure.
- Fences were used to define property lines; stone piers and metal pickets were common. Wire fences also were seen.
- Stone walls also were used.
- Street lights in the area evolved over the years. Early ones were frosted white globes. An acorn shape appeared in the early twentieth century and is currently being used in streetscape re-development projects in downtown Covington.



*Stone piers supporting metal fences, as well as solid stone walls, were seen.*



*Ornamental street lights, with an acorn lamp design were seen on Pike Street.*

## Historic Landscape Designs



*Looped metal fences also existed. This variety in metal fence designs should be continued in new streetscape designs.*



*Metal picket fences were popular.*

# Framework Analysis

*This framework analysis provides a basis for some of the mitigation actions proposed in this report. It also provides a starting point for more detailed planning concepts that could be produced in a Redevelopment Plan for the corridor.*

## The Existing Framework of 12th Street

The plan shown on the next page illustrates the framework of 12th Street in Covington as defined by the consulting parties. It includes gateways, circulation patterns, focal points and other features that reflect the organization of buildings, spaces and activities.

### Gateways

Certain intersections function as “gateways” and turning points. The gateways are divided into three levels:

“Level one” gateways exist at the interchange to Highway 75 on the west end of the street and at the Licking Valley Girl Scouts Bridge linking 12th Street to Newport on the east end of the street.

“Level two” gateways include Pike Street by the Interstate Highway 75 interchange, the intersection of 12th Street and Russell Street and Madison Street. Both Madison and Russell Streets represent intersections where many turn north to reach downtown Covington or public institutions.

“Level three” gateways include the intersection of 12th Street with Holman Street, Scott Street and Greenup Street. These intersections represent links to neighborhoods and local services.

### Circulation Patterns

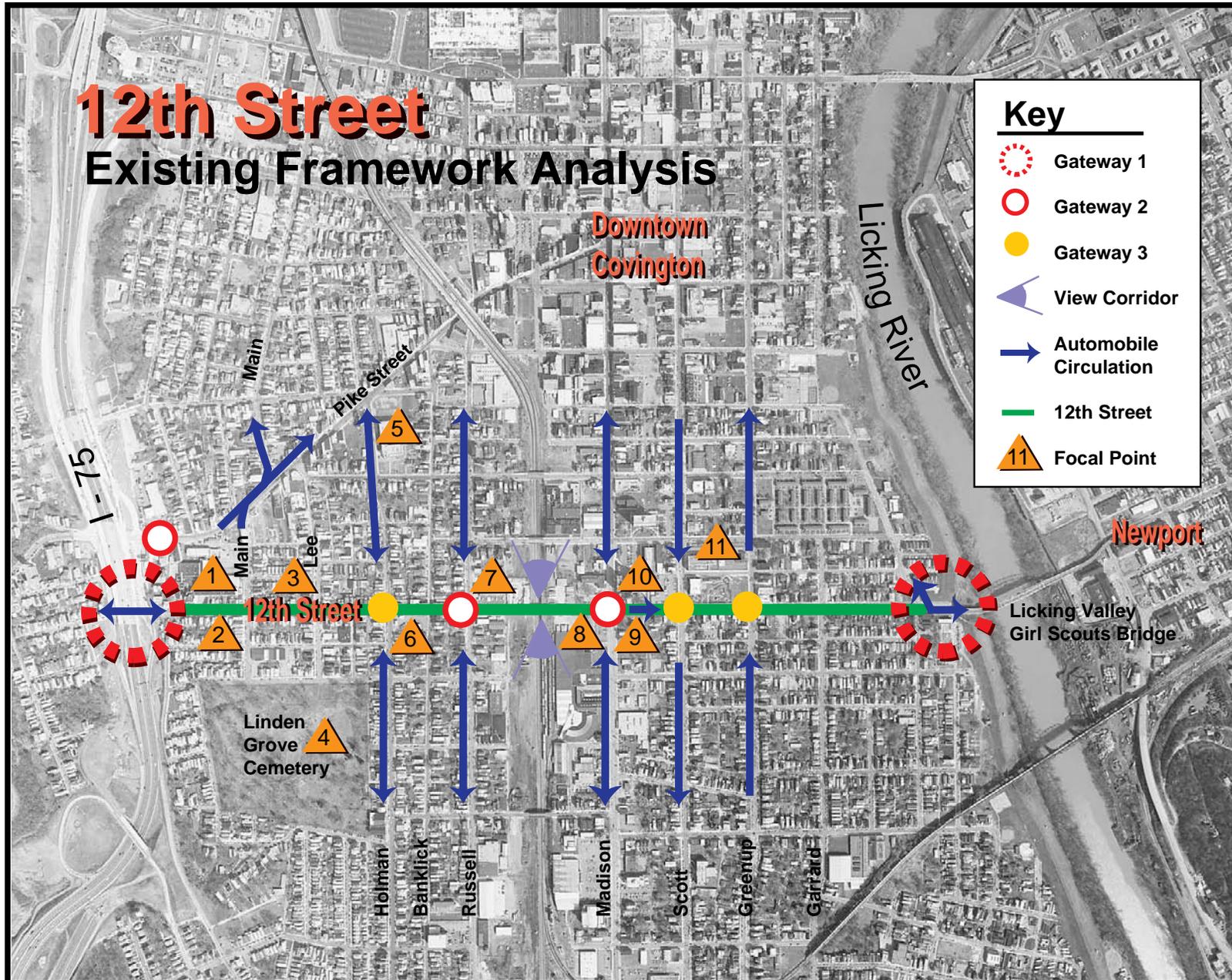
Circulation routes are defined where traffic flow is heaviest, where pedestrians may need to cross over and where many turns are being made. The

automobile circulation along the western portion of 12th Street is two-way until Scott Street, where the traffic patterns change to one-way heading east toward the Licking Valley Girl Scouts Bridge and Newport. The flow of traffic along the one-way segment is significantly less than that along the two-way segment of the street. The circulation patterns shown indicate major travel routes.

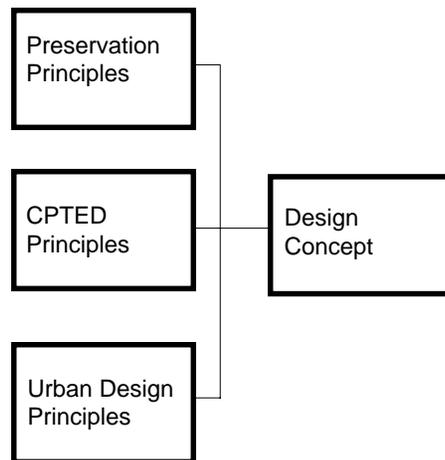
### Focal Points

The major focal points along Covington’s 12th Street range from major public institutions to local eateries and service centers. A list of the focal points with numbers that correspond to the map follows:

1. The Bavarian Brewery
2. Flannery Painting
3. Deli Mart Express
4. The Linden Grove Cemetery
5. The John G. Carlisle School
6. Ameristop
7. Cincinnati Bell Telephone
8. White Castle
9. Centro de Armistad (the former Children’s Law Center)
10. Cathedral Basilica of the Assumption
11. The 11th Street Linear Park



# Design Principles



The design concept for 12th Street is a combination of preservation principles, CPTED and urban design.

## Preservation Principles

### *The Concept of Historic Significance*

What makes a property historically significant? In general, properties must be at least 50 years old before they can be evaluated for potential historic significance, although exceptions do exist. A property may be significant for one or more of the following reasons:

- Association with events that contributed to the broad patterns of history, the lives of significant people or the understanding of Covington’s prehistory or history.
- Construction and design associated with distinctive characteristics of a building type, period or construction method.
- An example of an architect or master craftsman or an expression of particularly high artistic values.
- Integrity of location, design, setting, materials, workmanship, feeling and association that form a district as defined by the *National Register of Historic Places Standards*, administered by the National Park Service.

### *The Period of Significance*

In most cases, a district is significant because it represents, or is associated with, a particular period in its history. Frequently, this begins with the founding of the community and continues through the peak of its historic activity. Buildings and sites that date from the period of significance are typically considered “historic” and contribute to the character of the district.

### *The Concept of Integrity*

A district’s integrity is derived from having a substantial number of historically significant structures and sites within its boundaries. Each of those properties also must have integrity, in that a sufficient percentage of the structure must date from the period of significance. The majority of the building’s structural system and materials should date from the period of significance and its character defining features also should remain intact. These may include architectural details, such as dormers and porches, ornamental brackets and moldings and materials, as well as the overall mass and form of the building. It is these elements that allow a building to be recognized as a product of its own time.

## CPTED Principles

In developing landscape designs, key principles for crime prevention should be employed. This is known as “Crime Prevention Through Environmental Design.”

### **The basic CPTED principles are these:**

1. *Locate open space, including parks, such that other activities frame them.*
2. *Orient buildings that abut the open space to overlook it, such that “eyes are on the street.”*
3. *Define the boundaries of park space with decorative fences and walls.*
4. *Install plant materials and fences that enhance the area while permitting views.*
5. *Provide adequate lighting to allow for safe walkways and to discourage inappropriate uses.*

## Urban Design Principles

Some basic principles of urban design also apply to 12th Street:

1. *Promote a mix of uses in order to enliven the area.*
  - Include residential, commercial and industrial uses.
  - This will promote use of the street throughout the day.
2. *Create a street edge that encourages pedestrian activity.*
  - Design building fronts and landscapes to provide visual interest and establish a sense of human scale.
  - This will help to animate the area with desirable activities.
3. *Preserve historic buildings, whenever feasible.*
  - These structures provide a link to the community's heritage and help provide visual interest.
  - They also help to promote heritage tourism.
4. *Encourage new development that respects historic development.*
  - New buildings should reflect the traditional mass and scale of historic structures, without directly imitating them.
5. *Encourage continuing public and private investment in the area.*
  - A diversity of owners and users will help to maintain the area through continuing investment.
  - The area also should attract a variety of businesses and residents that can contribute to its revitalization.
6. *Anchor corner sites with activities.*
  - Maintain a building on the corner of a block when feasible.
  - In other cases, provide an outdoor space with active uses.

# Design Principles

*These principles include those that relate to the Section 106 mitigation design, but also includes principles that could apply to the Redevelopment Plan.*





# Guidelines for Historic Buildings

*These principles shall apply to properties kept under the Section 106 mitigation design and should also be used as the basis for guidelines that could apply to other historic structures in the area.*

Some may think that the structures along 12th Street do not merit preservation.

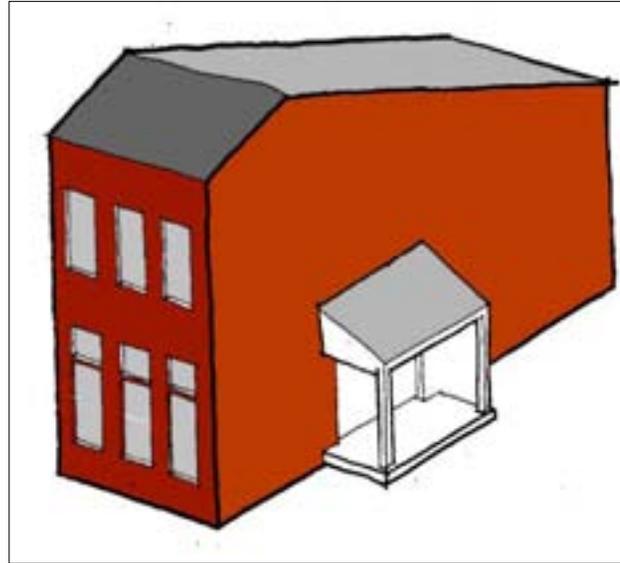
- However, these buildings derive their significance from the fact that they establish a street scene together. They provide a sense of place and time.
- Once they are demolished, the character of the area is permanently altered.

Therefore, the character-defining features of historic buildings should be preserved whenever feasible in the project. The following guidelines apply, in addition to the *Secretary of the Interior's Standards and Guidelines for Treatment of Historic Properties*.

***H1. Preserve key character-defining features of historic buildings in the project area.***

- The key features of each building type and style should be respected.

## Historic Buildings... Treatment of exposed building walls

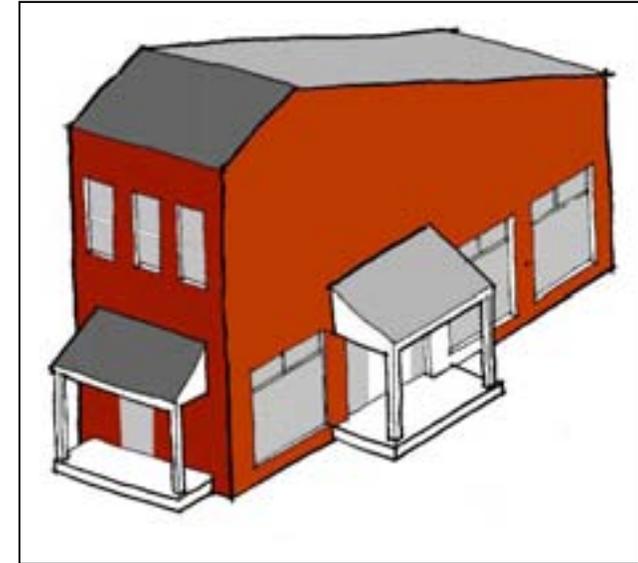


**Historic Condition:**

A “Covington Style” residence, with the primary entrance located on the side

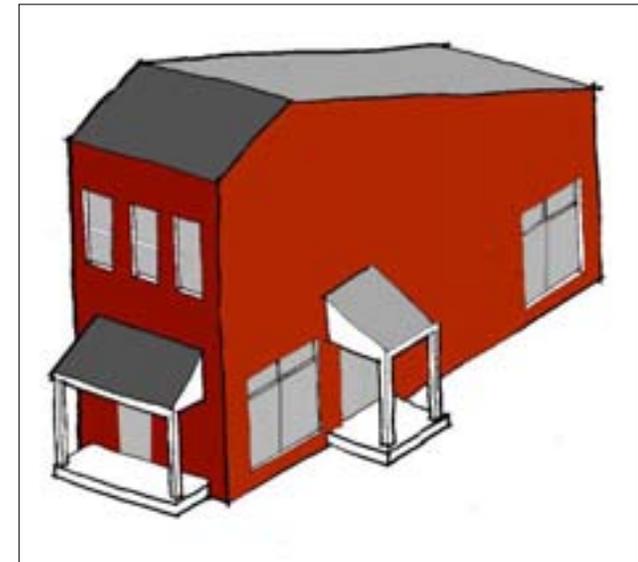
**H2. Preserve the historic character of a side wall when it is exposed or altered.**

- A new side porch may be considered, but should remain subordinate in scale and character.
- New windows should be similar in character to those used historically on side walls.
- When adapting to commercial use, retain the distinction between building front and side wall.
- Maintain the overall ratio of solid to void.



**Inappropriate alteration:**

Adding large display windows to the side of a historic side entry residence is inappropriate.



## Historic Buildings... Alteration to the side of an historic residential structure



*Existing side wall*



*Appropriate:  
New side porch is  
subordinate in scale.*



*Large display windows are  
out of character.*



*Inappropriate:  
New side porch is too  
large.*

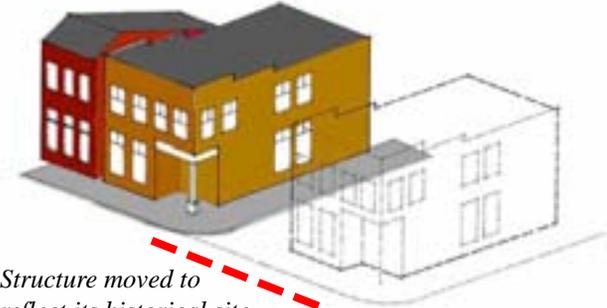
### ***Inappropriate Windows***

However, these alterations should be in character and should not significantly alter the historic appearance. Installing new, large display windows, such as these, would be inappropriate.

If a new porch is added to the side of a house that is exposed to 12th Street, it should be subordinate in scale to that on the front, or main entrance.

## Historic Buildings... Relocation

*H3. When the side of a residential structure is exposed because of the removal of a building beside it, some alterations may be considered that would orient the side of the building to the new open space.*



*Structure moved to reflect its historical site orientation.*

### Relocating Corner Buildings

Corner buildings are distinctive features of 12th Street. Many are designed with storefront entries located at the corner itself. To the greatest extent feasible, this characteristic should be respected when lots are re-configured.

*H4. Whenever feasible, corner store buildings should be preserved.*

- In some cases, this may require relocating the structure to the newly created corner lot that results with the road widening.

### ***Relocation buildings***

All historic buildings in the area are valuable as contributors and should be preserved when feasible. While preserving a building on its original site, and its original foundation, is preferred, in some cases it may be necessary to relocate the structure.

Technically, all of the buildings along 12th Street are capable of being moved. While many people may think that large masonry structures are difficult to relocate, it occurs frequently across the nation. A series of steel beams are inserted along the base of the building. The structure is then elevated on jacks and positioned onto a flat bed truck.

### **The reasons for relocating buildings:**

- To maintain a sense of the historic building pattern along 12th Street
- To minimize the degree to which the backsides of buildings on Watkins Street are exposed
- To maintain a context for the buildings on the north side of 12th Street

### **There are three potential types of relocation that may be considered:**

- Remove the rear portion of a structure and reposition the remaining piece on residual parcel on 12th Street, with an entrance facing 12th Street.
- Relocate it to a new parcel that will be exposed to 12th Street.
- Move the building to a new site in the neighborhood, but off of 12th Street.

### **There are these specific issues about moving buildings:**

- The technical aspects of moving a building, with respect to the structural integrity of the property and the physical constraints of operating moving equipment
- The merits of moving a building, with respect to its historic significance

### **In some cases a building may be cut into sections in order to facilitate relocation.**

- A key challenge is having enough room on site for movers to operate their equipment.
- In the case of 12th Street, where entire rows of buildings would be cleared, it should be quite easy to position moving equipment.

A second concern is the temporary lowering of utility lines to permit tall buildings to move down a street. When a building is repositioned on its existing site however, these transport issues are minimized. Lowering lines is one of the costs in moving. When moving distances are minimized, costs are reduced.



*The same house as at the right, on a truck ready for relocation*

## **Historic Buildings... Relocation**



*A historic house on its original site.*

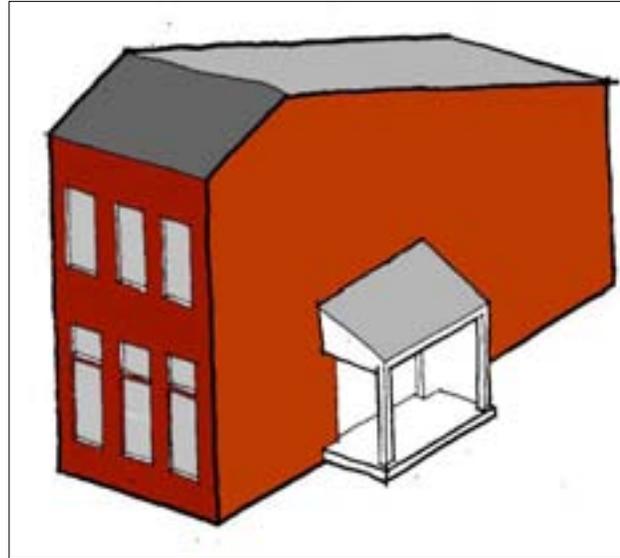


*The same house as above, preparing to be lifted from its foundation*



*The same house as above, at its new site.*

## Historic Buildings... Partial Demolition

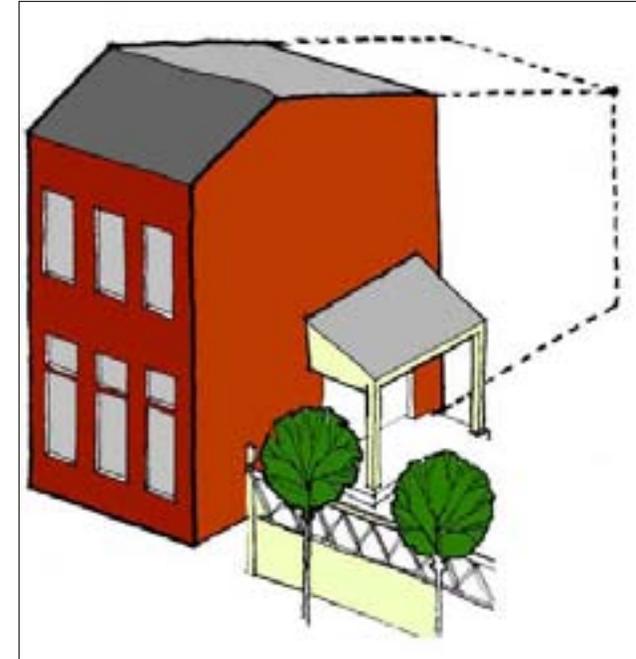


**Preservation of portions of historic buildings**

Preserve all of a historic structure when feasible. However, because of the special circumstances of the road widening, it may be necessary to remove portions of a structure. When partial demolition occurs, those portions that are least significant, in terms of conveying the historic character of the property, should be removed first.

***H5. In some cases, a portion of a historic building can be preserved.***

- Remove the rear of the building first.
- When feasible, remove later additions that may be located at the rear.



***H6. Preserve the front half of a contributing building when complete preservation is not feasible.***

- Then, reposition the remaining portion on the lot to reflect traditional development patterns.



*New infill divided into modules to reflect traditional building widths.*



*New infill with roof forms similar to those seen historically.*

# New Infill Guidelines

*These principles are included as a basis for projects that would be identified in the Redevelopment Plan.*

## ***New Infill buildings***

***N1. Develop new structures to reflect traditional building forms and scale.***

- Divide larger buildings into modules that reflect traditional building widths.

***N2. Contemporary interpretations of traditional buildings elements should be used.***

- These help convey the history and evolution of the street.

***N3. Roof forms should be similar in scale and form to those used historically.***

***N4. Where they are used, storefronts should align at the sidewalk edge.***



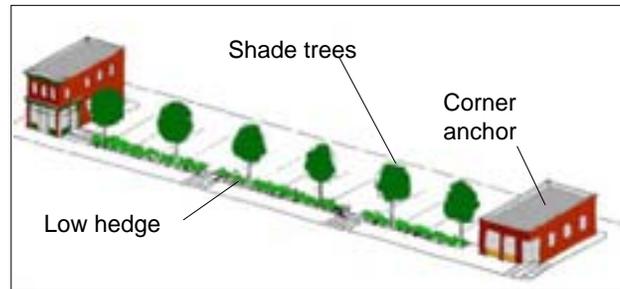
*Precedents for dividing buildings into modules exist in Covington.*



*Precedents for compatible infill designs exist in Covington.*

# Landscape Guidelines

This section provides guidelines for general landscape design and defines a palette of appropriate materials. They are intended to help mitigate impacts to historic resources that would remain by reflecting the traditional landscapes of yards seen along 12th Street.



*The edges of parking lots that abut streets and adjoining parcels should be screened with landscaping.*

## Parking lot screening

### ***L1. The edges of parking lots that abut streets and adjoining parcels should be screened with landscaping.***

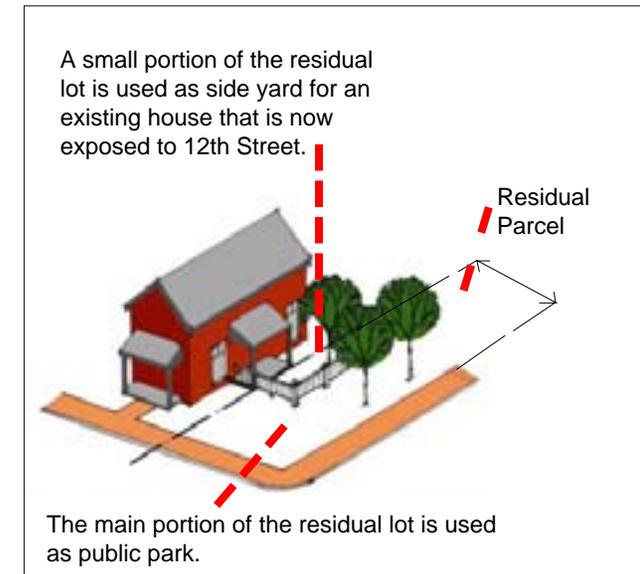
- The screening should be in keeping with the landscape design palette established in these guidelines.
- Screen parking lots with two or more of the following:
  - Stone walls
  - Metal picket fences
  - Low shrubbery
  - Trees

### ***L2. When feasible, anchor the ends of a parking lot with buildings, in order to provide activities along the street.***

## Corner Lots

### ***L3. Corner sites should be anchored with activities.***

- A building should be positioned at a corner when feasible.
- Relocate the existing building to the newly-formed corner lot, or...
- Construct a new compatible infill building, or...
- Create an active outdoor activity.



*When the side of an historic house is exposed to 12th Street, in some cases, it is appropriate to allocate a portion of the residual lot for use as a side yard. This will help to animate the street edge and provide for maintenance.*

## Fence designs

### ***L4. Fence designs should appear similar in character to those used historically.***

- Metal pickets are appropriate.
- Stone piers should be used.
- Where possible rebuild or relocate stone walls from existing or stockpiled materials.

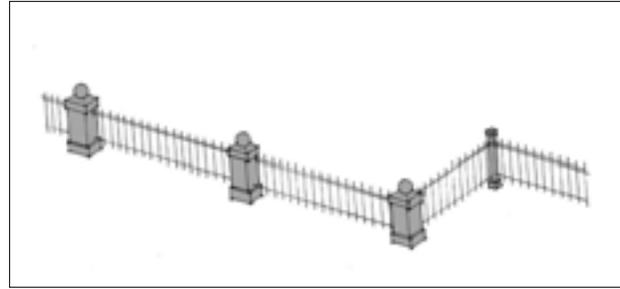
### ***L5. Walls and fences should appear similar in scale to those used historically.***

- The length of a fence segment should be similar to those used historically.
- The height should be similar to those of historic fences.

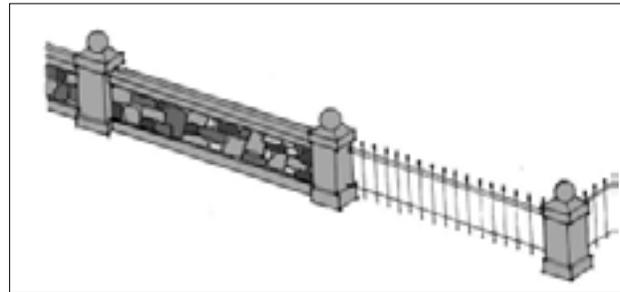
## Lighting Designs

### ***L6. Acorn style lights, similar to those used historically in Covington, should be used as accents along the street.***

- This will help to convey a connection with the history of the area.
- A simple, non-ornate light fixture and pole, based upon historic precedent, is appropriate and compatible for 12th Street.
- Lighting design is not part of mitigation actions, but should be coordinated with the roadway project and included in streetscape design.



*Metal picket fences, supported with stone piers, should be used to define the edges of properties.*



*Stone walls may also be used.*

## Landscape Design Guidelines...



*Acorn style lights, similar to those used historically in Covington, should be used as accents along the street.*

## Landscape Design Guidelines...

### Sidewalk designs

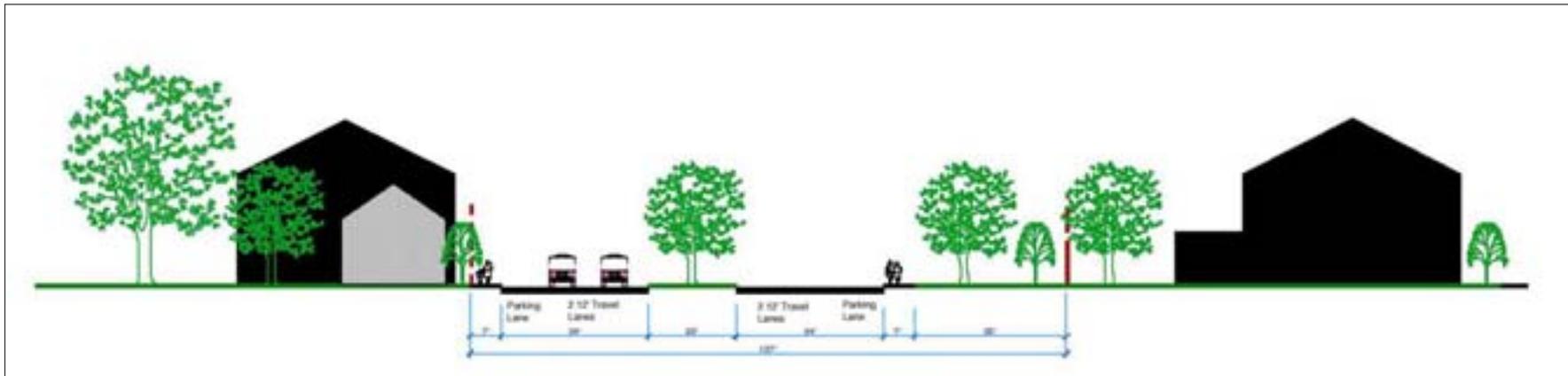
Sidewalks should be in character with those seen historically in the area, while also accommodating contemporary needs and standards.

#### *L6. New sidewalks should be broom finished, grey concrete.*

- Where feasible, 7 feet should be provided.
- When possible decorative paving or salvaged brick should be used for accents at corners, expanded landscape areas, and at building entries.

#### *L7. Where possible include decorative paving in crosswalks at key intersections.*

- Paving should be of modular concrete pavers, designed to appear similar to bricks seen historically in the area.
- Frame paving in bands, similar to those used in new streetscape designs in downtown Covington.



The streetscape design provides a 7' sidewalk on both sides of 12th Street, this allows room for pedestrian scaled decorative street lights to be placed at the sidewalk edge. There is an opportunity to place trees in select portions of the median, where the width allows. Installation of landscape material in the median would need to be coordinated with the roadway project.

One linear park should be provided along the south side of 12th Street. This park should be designed to reflect the general character of yards seen traditionally in the area, while also recognizing the different functional requirements.

The landscape palette described in this report should be used, including stone walls, metal picket fences and clusters of planting. In addition, the CPTED principles described earlier in this report should apply.

Whenever feasible, the park should be flanked with active uses, to help animate the area and to monitor activity in the open spaces.

***P1. Provide activities that will animate the park.***

- Frame a park with commercial and residential uses.
- In some cases, allocating some of this open space to an adjoining residence as a new side yard would be appropriate. This side yard should serve as a transition to the park area.

***P2. Where possible provide filtered views from the back yards of properties on Watkins street.***

- Install trees to help buffer views from these yards to 12th Street. However, maintain some visual contact with the linear park area, in consideration of CPTED principles.

***P3. Park landscapes should reflect features of the residential character of yards seen historically.***

- Define the sidewalk edge with stone walls and metal fences.
- Reuse existing stone walls and metal fences in these designs.
- Provide entrances into the park that read as “gateways” to yards.

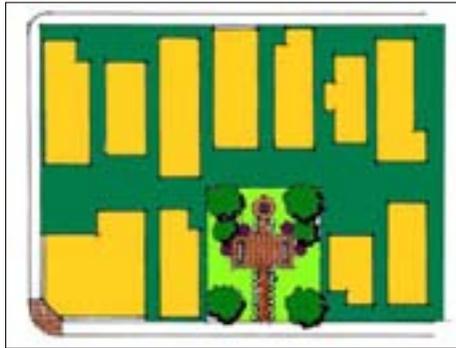
## Park Design Guidelines

Small linear parks may be located along the south side of 12th Street. These can serve as a mitigative action only if they are associated with relocated or rehabilitated buildings. This section provides guidelines for such “linear” parks.

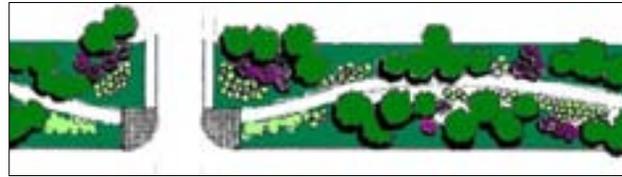


*A conceptual sketch for a linear park in the 400 West block of 12th Street, looking southwest: Stone walls and fences define the street edge, recalling historic residential yards in the area. A small residential structure is preserved, and a private side yard is provided to the left of it.*

## Park Design Guidelines...



Concept for a pocket park in the middle of a block



Inappropriate organic park layout

### ***P4. Install trees in a manner similar to traditional residential landscapes.***

- Trees should be planted in informal clusters, rather than formal lines of street trees.
- Also include informal clusters of low shrubbery and accent plants.
- Preserve existing trees when feasible.

### ***P5. While informal planting patterns are appropriate in the context of 12th Street, because they can help to reflect the historic patterns of residential yards, an overall formal character should be conveyed.***

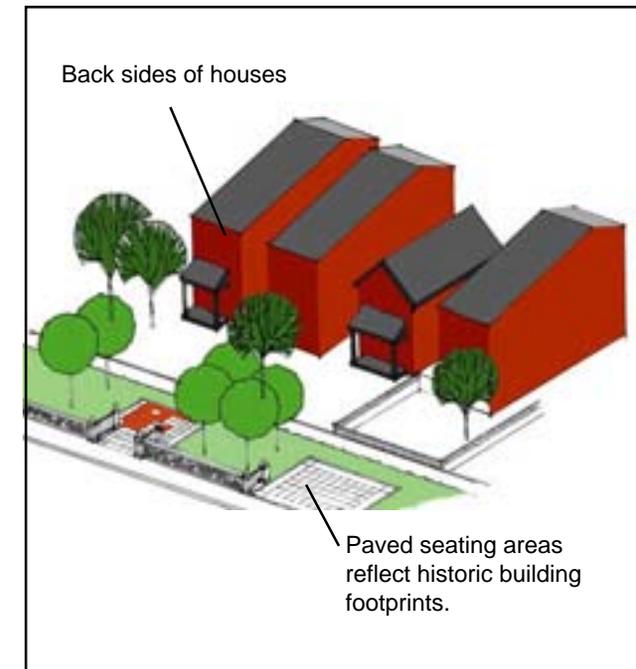
- A meandering, “organic” planting and paving design, for example, would be inappropriate.
- This would fail to reflect the historical landscape traditions of the area.
- Rows of uniformly spaced street trees should be avoided along sidewalks.

### ***P6. Reflect historic paving materials in hard surfaces in parks.***

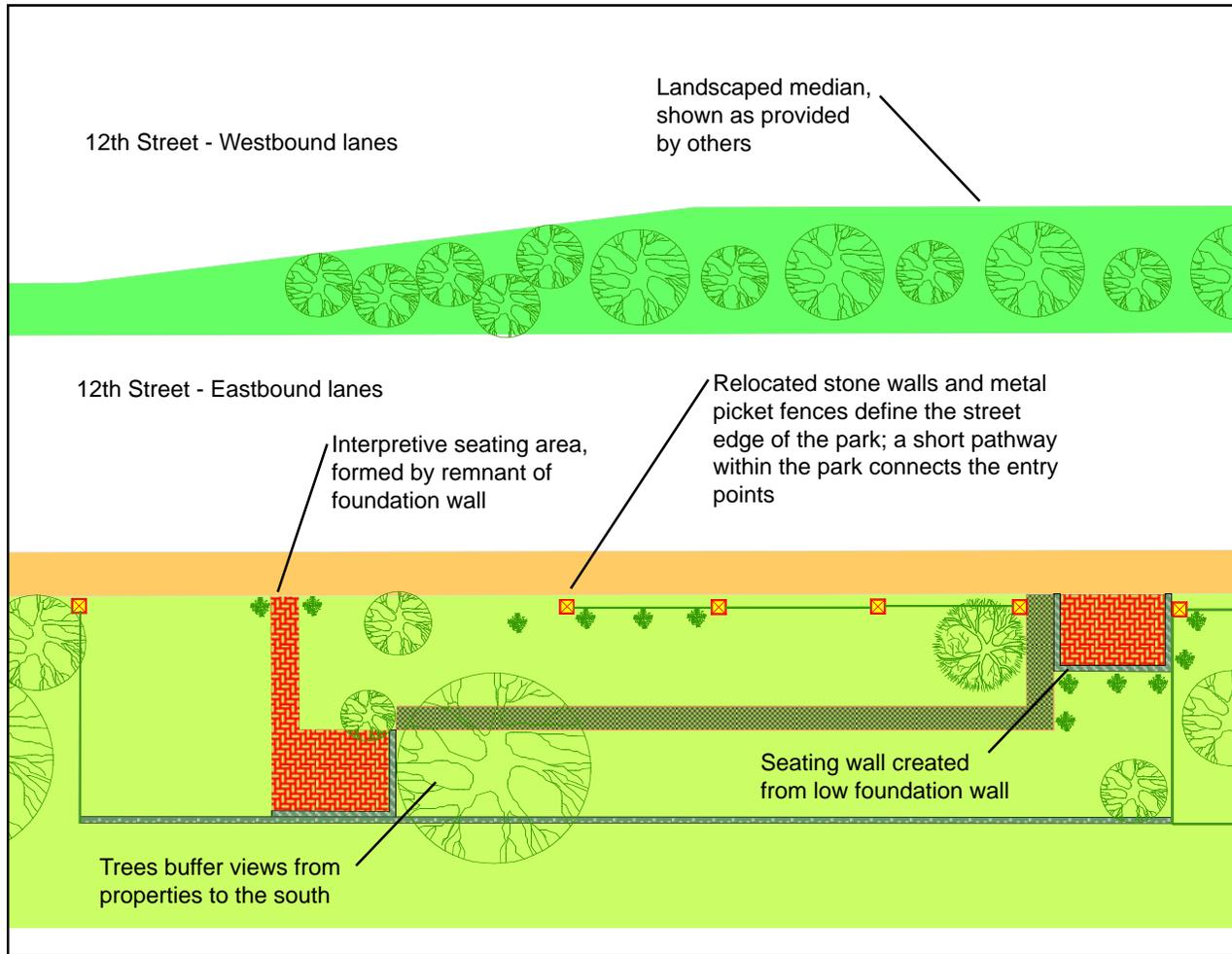
- Use brick paving as accents, to recall historic alley materials.
- Broom finished concrete, in scored patterns, is also appropriate.
- Also reflects downtown patterns

### ***Linear Park Design concepts***

- Design an interpretive park installation, to convey the history of the area.
- Install pavers at each building location/entry
- Reflect the historic development pattern in the landscape design, including site walls and gates.



Some linear park details may use paved surfaces to define seating and special activity areas. The could also reflect historic building patterns.



**A representative linear park design concept**

## Linear Park Design Concept

### *Parks as mitigation devices*

Parks can serve as amenities in the neighborhood, which can enhance livability and encourage investment in other historic properties in the area.

By themselves, however, they are not a mitigation for the loss of historic buildings. Therefore, they should be considered as features that complement more direct preservation mitigation strategies.

Parks can also be sites for interpretive materials that convey the history of the street. Historical markers can be installed that portray the early history of the street.

# Median Design Guidelines



*Precedents for landscaped medians exist in Covington.*

Focal points should help to interpret the history of the area. This may include the use of markers, sculpture and other interpretive structures.

## **Policy:**

A landscaped median in the center of 12th Street is a key element of the overall landscape strategy for the corridor.

The median should be designed to serve as a visual buffer along the street. It should serve primarily as a visual amenity, with landscaping. At key locations, signs should be installed. In addition, some special focal points, to include sculpture, fountains or other public monuments, should be installed to help give distinct identity to individual blocks.

The median is not designed for active use.

## **Guidelines:**

***M1. Locating a sidewalk or other active use in the median is inappropriate.***

***M2. The median should be planted with grass where there is adequate width.***

- Maintenance of any landscape elements would be the responsibility of the City of Covington.
- Any larger landscape elements such as trees would need to be clear of the roadway right of way.
- This would be assumed to be part of the basic roadway construction project, not a mitigation action.

***M3. In locations where trees are installed, two different tree species should be used with a progression of mature height as the median widens.***

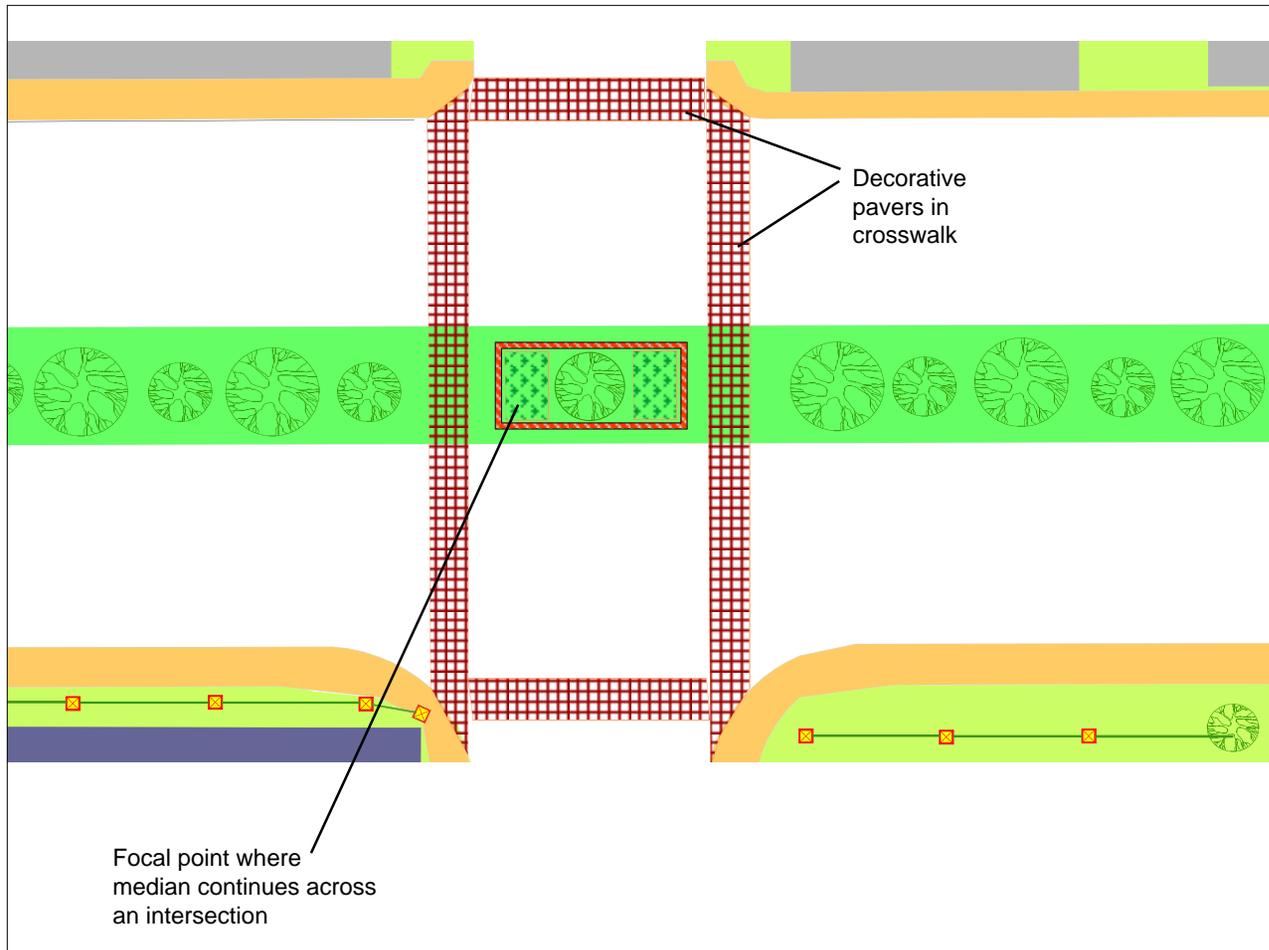
- This provides variety in size and color and relates to the more informal landscape designs of residential yards seen historically in the area.
- Installation of trees is not part of mitigation, however this project could be coordinated with the roadway project.

***M4. A minimum width of 16 feet should be maintained where feasible, to provide for planting with grass and trees.***

- Where the median must be narrower, decorative paving should be installed that appears similar to brick paving seen historically in the area.

***M5. The landscape palette established in this report should be used in any appropriate area of the median, including:***

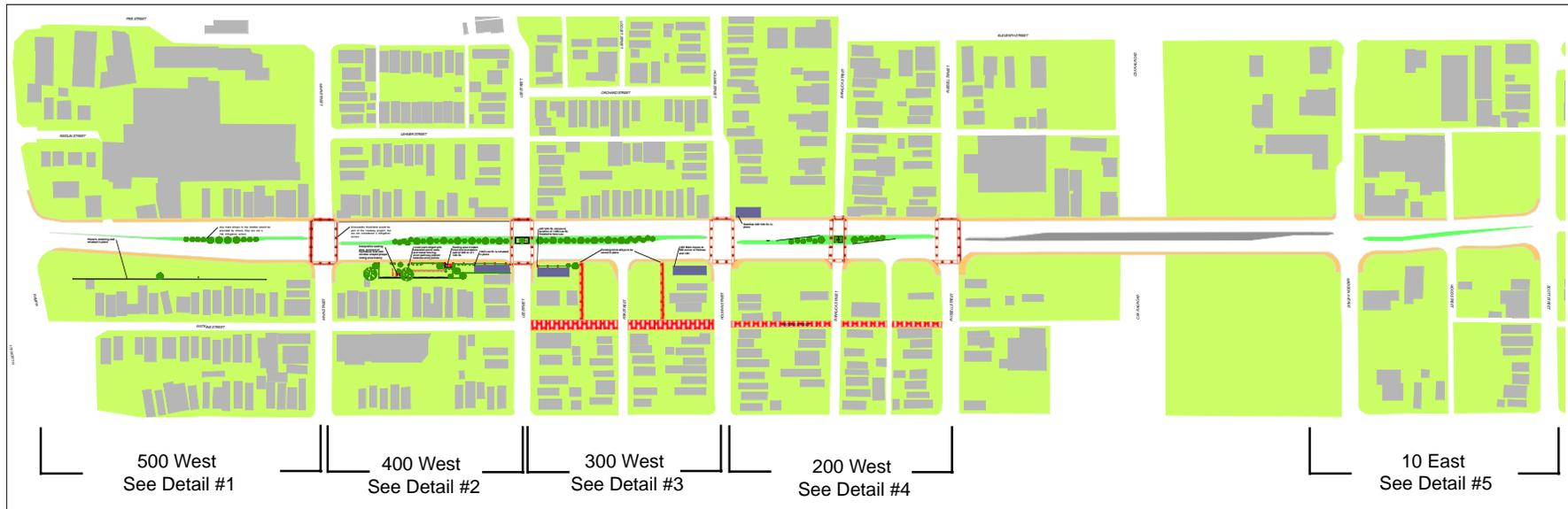
- Stone walls and piers
- Metal picket fences



## Median and Crosswalk Design Concepts

The median design guidelines combine to produce a schematic concept as illustrated on this page. Design details include:

# Design Concept for 12th Street



*This composite map illustrates the potential character of 12th Street with the proposed mitigation actions. Additional enhancements such as trees in the median are included in this illustrative, though they are not recognized as mitigation actions. Details of each of the blocks of this map are presented on the pages that follow.*

# Detail 1

## 500 West Block

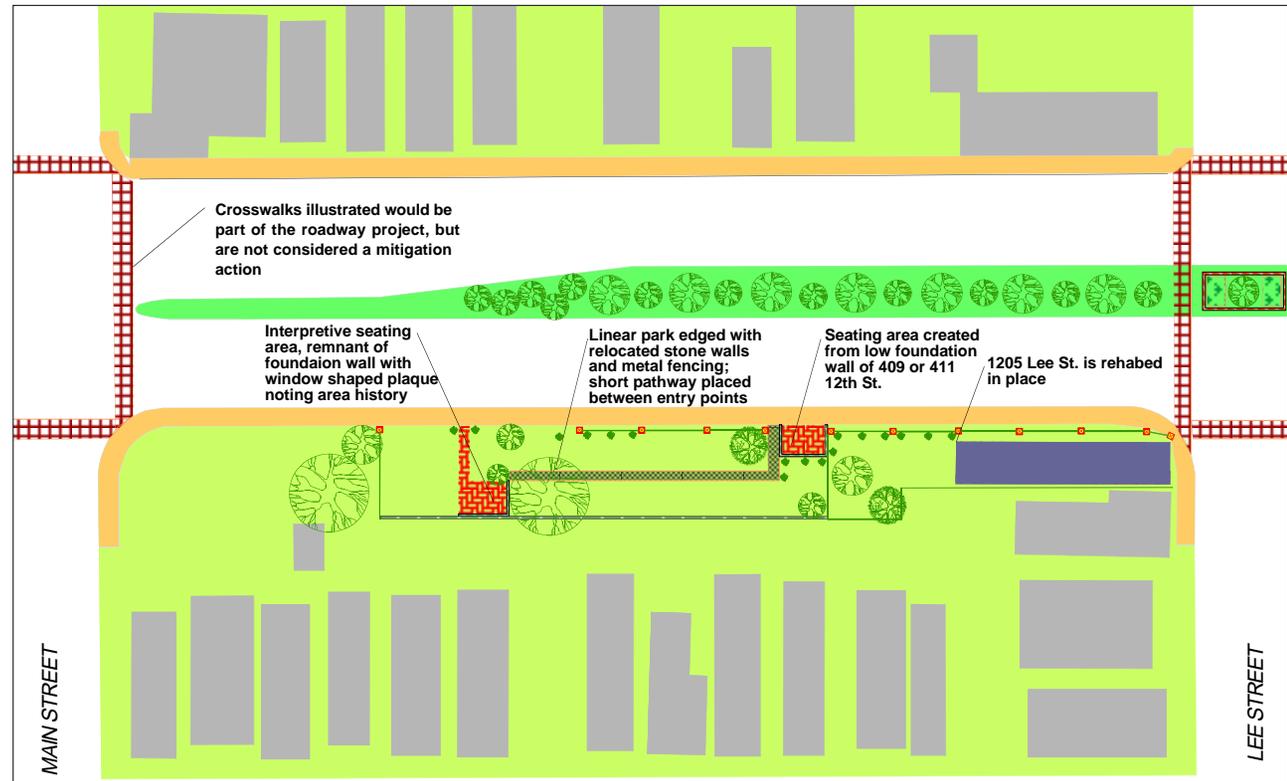


*View of 500 Block West, 2001*

## Detail 2 400 West Block



Views of 400 Block West, 2001





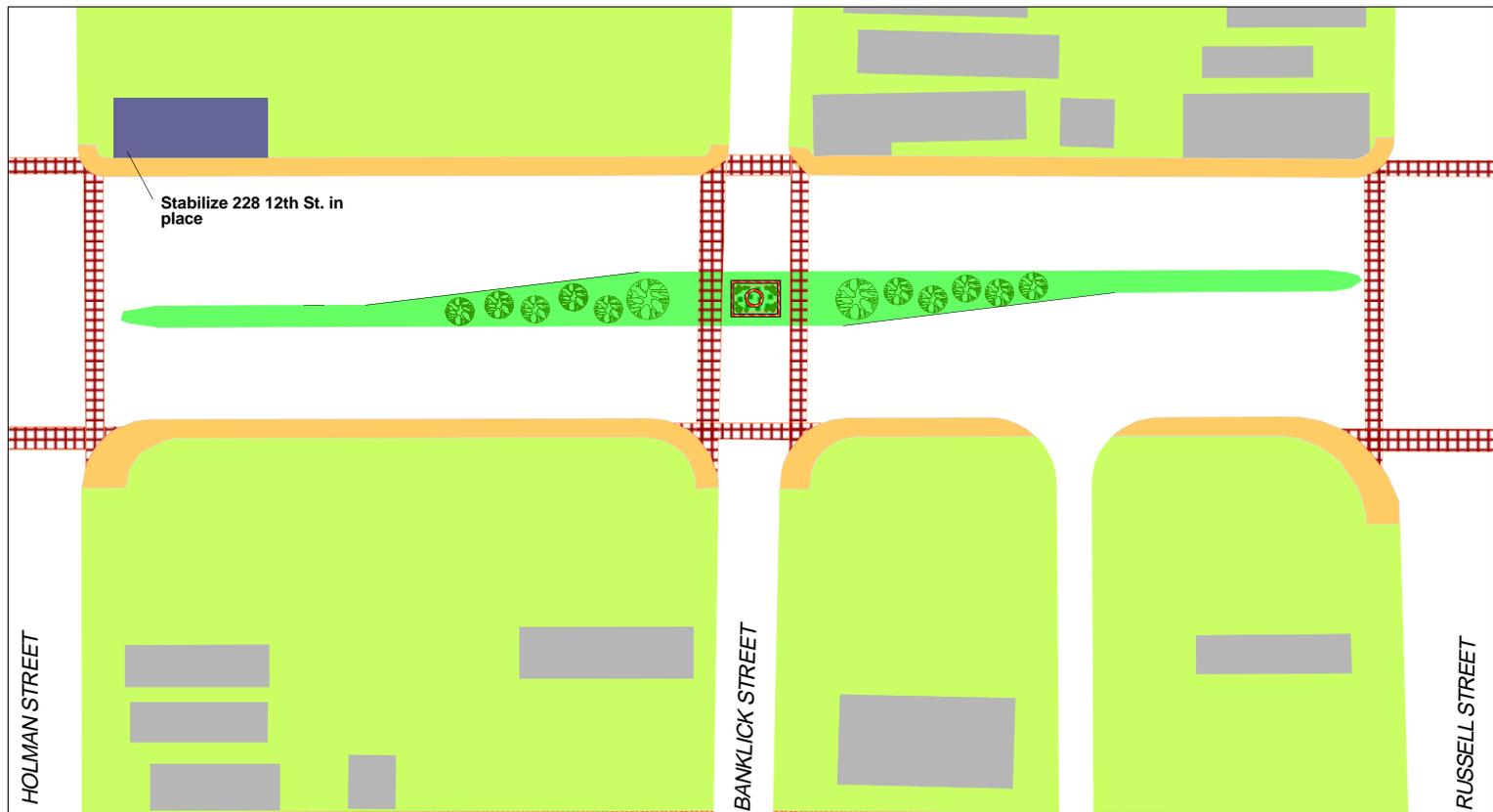
### Detail 3 300 West Block



*This illustration of the mitigation concept for the southeast corner of 12th and Lee, shows a relocated building rotated to face Lee Street with a former side entry oriented to face 12th Street.*

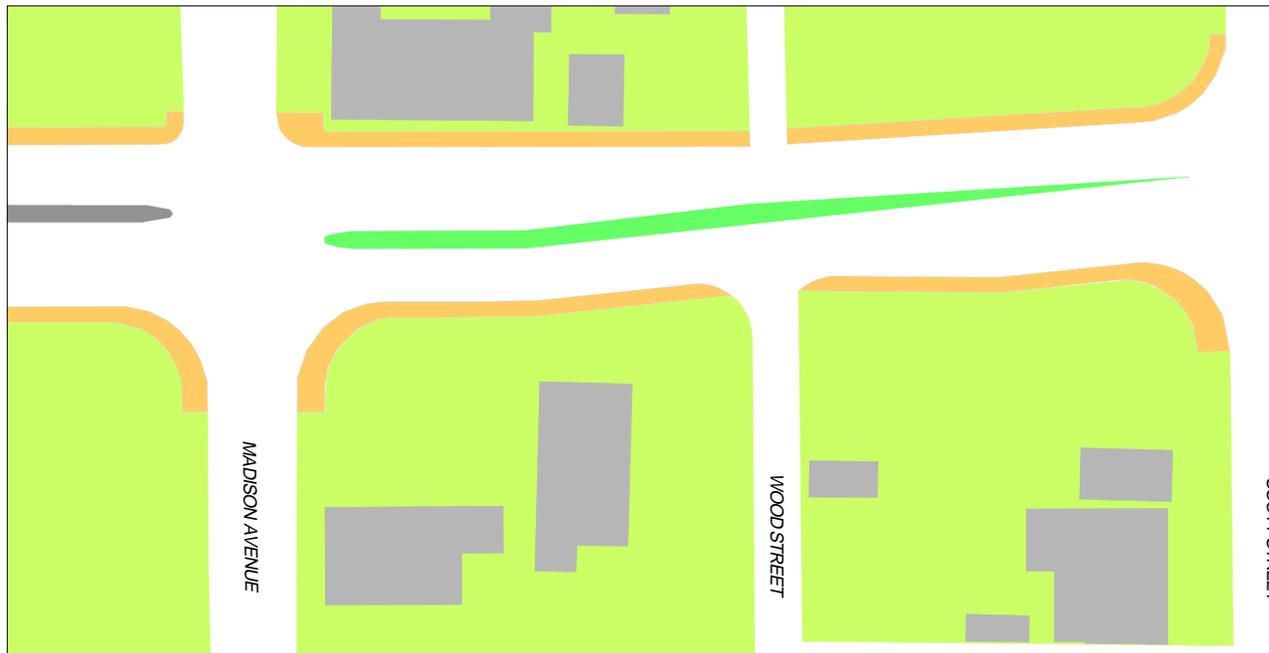
*Views of 300 Block West, 2001*

## Detail 4 200 & 100 West Block



*Views of 200 & 100 Blocks West, 2001*

## Detail 5 200 East Block



*Views of 200 Block East, 2001*

# Preservation Priorities Ratings

This section provides a preliminary evaluation of buildings that have the potential to be preserved by relocating them to sites out of the proposed new right of way for the highway widening. This preliminary evaluation was conducted in order to establish a general sense of the extent of preservation work that may be involved as a part of the road improvements. As an initial step in implementing the recommendations, a more formal evaluation of the properties should be conducted.

### *Preservation Criteria*

The following criteria were used in the preliminary assessment and should be employed in the more formal evaluation:

- The building is a good representative of a historic type or style
- The building is a corner anchor building type
- The property has a relatively high degree of integrity. Key character-defining features are intact.
- The building is part of a set that contributes to a key streetscape. It is part of a strong context on the south side.
- The building helps frame the street, with respect to the opposite side of the street.

The following estimates were calculated for properties west of the railroad bridge:

### *Buildings to be preserved on site:*

Approximately 2 buildings are identified for preservation on site. In this application, “on site” may indicate that structures are being removed around an existing structure and it will be newly exposed to the street edge.

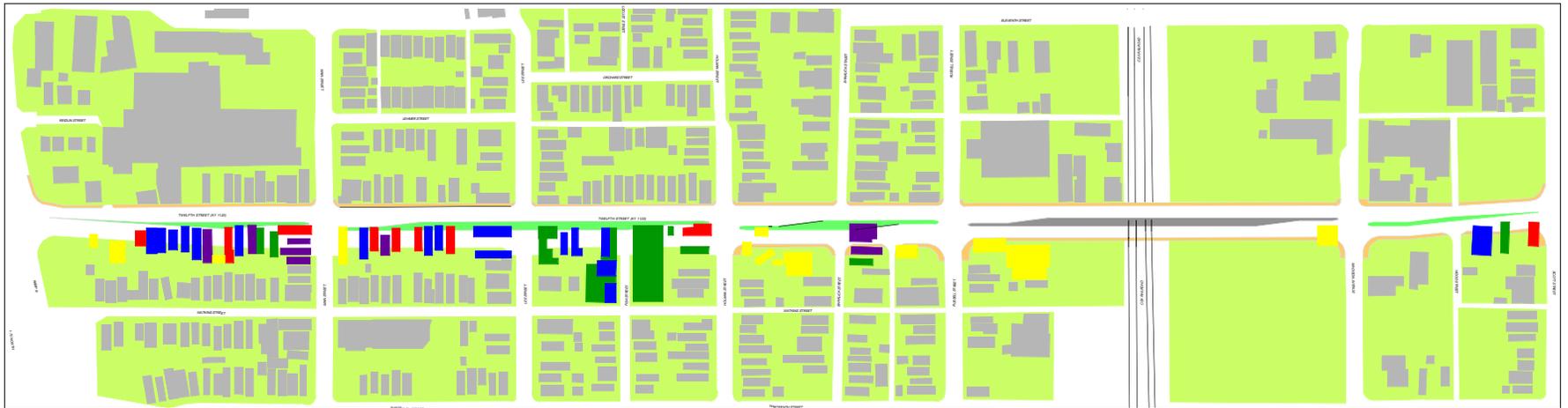
### *Buildings to be relocated to other sites in the project area:*

Approximately 2 buildings are identified for relocation to other sites in the neighborhood.

### *Demolition:*

A majority of the buildings on 12th Street are to be demolished in the schematic plan. Of these, many are contributing to the historic district. These buildings should be adequately documented prior to demolition.

### Preliminary Building Preservation Priorities Map



Buildings in red are those that are the highest priority for preservation.

Buildings in blue are high priority for preservation.

Buildings in purple are those that should be preserved, if feasible.

Buildings in green are those that may be demolished without significant impact on the integrity of the historic district.

Yellow buildings are modern buildings that have no impact on the integrity of the historic district.

## Next Steps

Implementation of these mitigation actions will involve the participation of the Kentucky Transportation Cabinet, City of Covington agencies, developers and properties, as well as the State Historic Preservation Officer.

### Implementation

Once the Memorandum of Agreement is signed, a series of more detailed design and planning steps will follow. These include an assessment of the individual historic buildings, engineering designs and development of the streetscape design, based on the concepts presented here.

### Property Acquisition

All properties in the right of way would be acquired. The process for acquisition of properties, assistance with relocation of occupants and treatment of remnant parcels is defined in state procedures.

### Building Condition Assessment and Documentation

Each building identified for potential preservation should be evaluated more closely to confirm the significance of the property, its degree of integrity and feasibility for reuse. Based on these findings, the final list of buildings to be preserved would be established.

Historic properties would also be documented at this time. This will serve as a record of the character of the district as it exists today and may be used in interpretive exhibits as well.

### Landscape Design

More detailed landscape designs would be produced, following the general concepts presented in this study.

### *The landscape design includes:*

- Interpretive markers and exhibits
- Linear parks and plazas

### Design Guidelines

Detailed design guidelines would be provided that expand on the policies outlined in this document. These guidelines will assist in determining the appropriate treatment for 12th Street properties including adaptive reuse of historic buildings, infill development, streetscape design and landscape elements.

### Redevelopment Plan

The proposals for 12th Street include adaptive reuse of historic buildings and construction of new, compatible infill. The City has initiated a redevelopment plan which can guide the implementation of these projects.

### *This redevelopment plan should address:*

- Land use and zoning regulations
- Economic development opportunities
- Housing policies
- Neighborhood services
- Participation of public agencies

## Potential Phasing of Work

This chart illustrates the relatively timing relationships among various elements of the 12th Street project. A series of detailed studies would occur concurrently; property acquisition would be at this same time. During the construction phase, road work would lead, with streetscape construction and building rehabilitation following.

### Develop MOA



### Landscape Design Development



### Landscape Construction Documents



### Streetscape Construction



### Building Assessment & Documentation



### Building Stabilization Design



### Building Rehabilitation



### Redevelopment Plan



### Engineering Design Development



### Engineering Construction Documents



### Road Construction



### Property Acquisition

