

# Linden Gateway Form Based Code

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Steering Committee

Meeting #3

December 10, 2009



City of Covington

NKAPC



# Roofs

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## ■ *Linden Gateway Small Area Study*

- This study recommends that [green roofs] be encouraged as part of new infill development
- The architecture of the buildings should be compatible to those that presently exist on the north side of 12th St./Martin Luther King Jr. Blvd. Building...roof shapes...should be specified.
- Green infrastructure practices such as green roofs...are recommended to be incorporated into the design.
- The potential for green roofs...should be explored

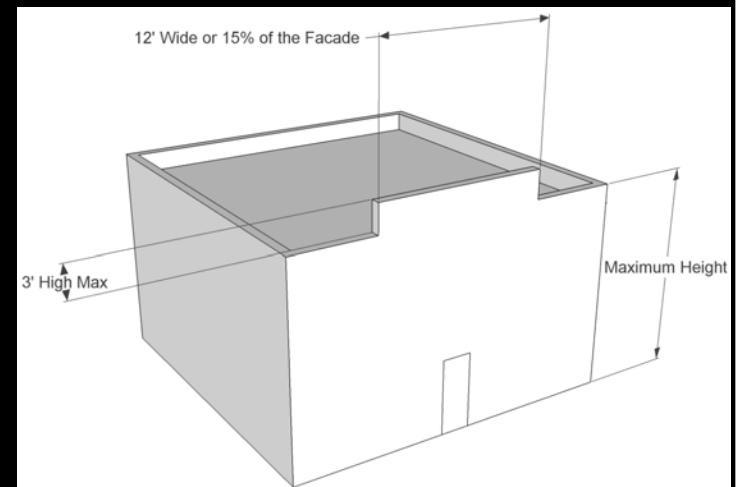
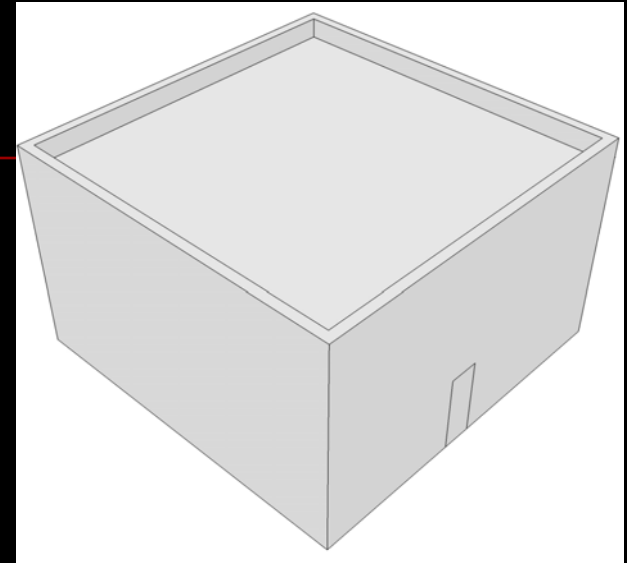
# Roofs

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- *KYTC 12<sup>th</sup> Street Design Guidelines*
  - In order to maintain this sense of visual continuity, a new building should have basic roof and building forms that are similar to those seen traditionally along 12th Street.
    - *Simple rectangular forms with traditional pitched and flat roofs are appropriate.*

# Flat Roofs

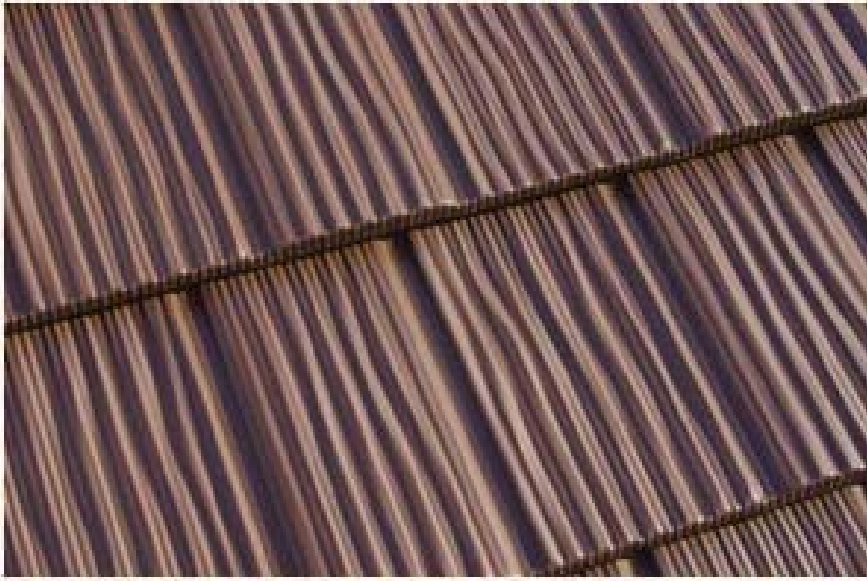
- Only permitted with green roofs or roof top deck/patio
- Permitted with any story building
- Permitted only with buildings 3+ stories
- Increased parapet height to emphasize the entrance





# Metal Roof – Slate





# Metal Roof – Shake

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# Metal Roof – Shingle





# Metal Roof – Standing Seam







# Metal Roof – Solar

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# Mass – Height

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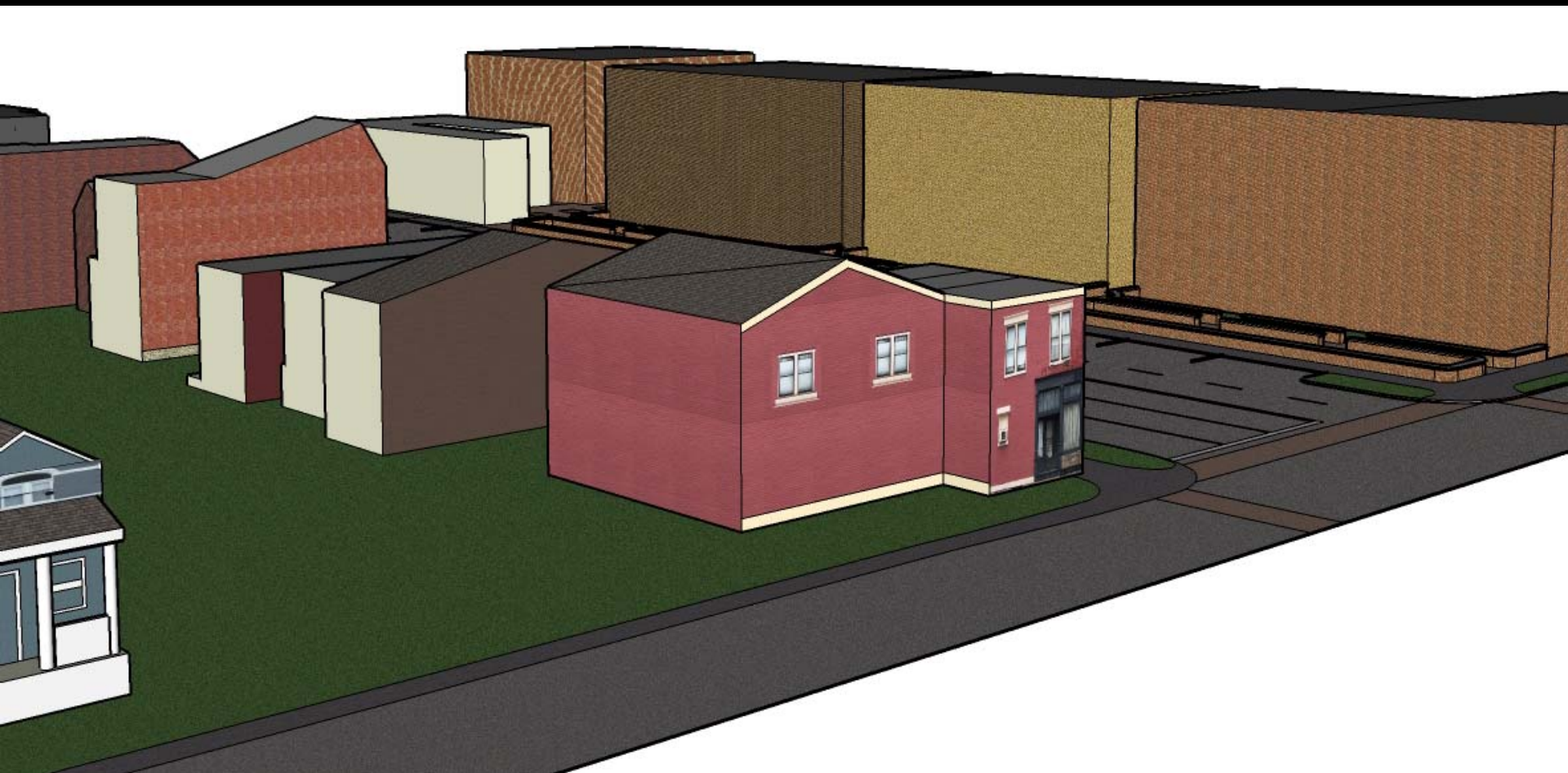
## ■ *Linden Gateway Small Area Study*

- The maximum height of buildings along the corridor east of Main Street is recommended to be 3 stories or 40 feet and a minimum height of 2 stories is recommended. The maximum height of buildings south of the interpretive park, north of 13th Street and west of Main Street is recommended to be 4 stories.
- 500 Block
  - *It is recommended that the maximum height of the buildings within this block be limited to 4 stories or approximately 40 feet. This would be compatible in building height to that of the Bavarian Brewery building located across on the north side of 12th St./Martin Luther King Jr. Blvd.*

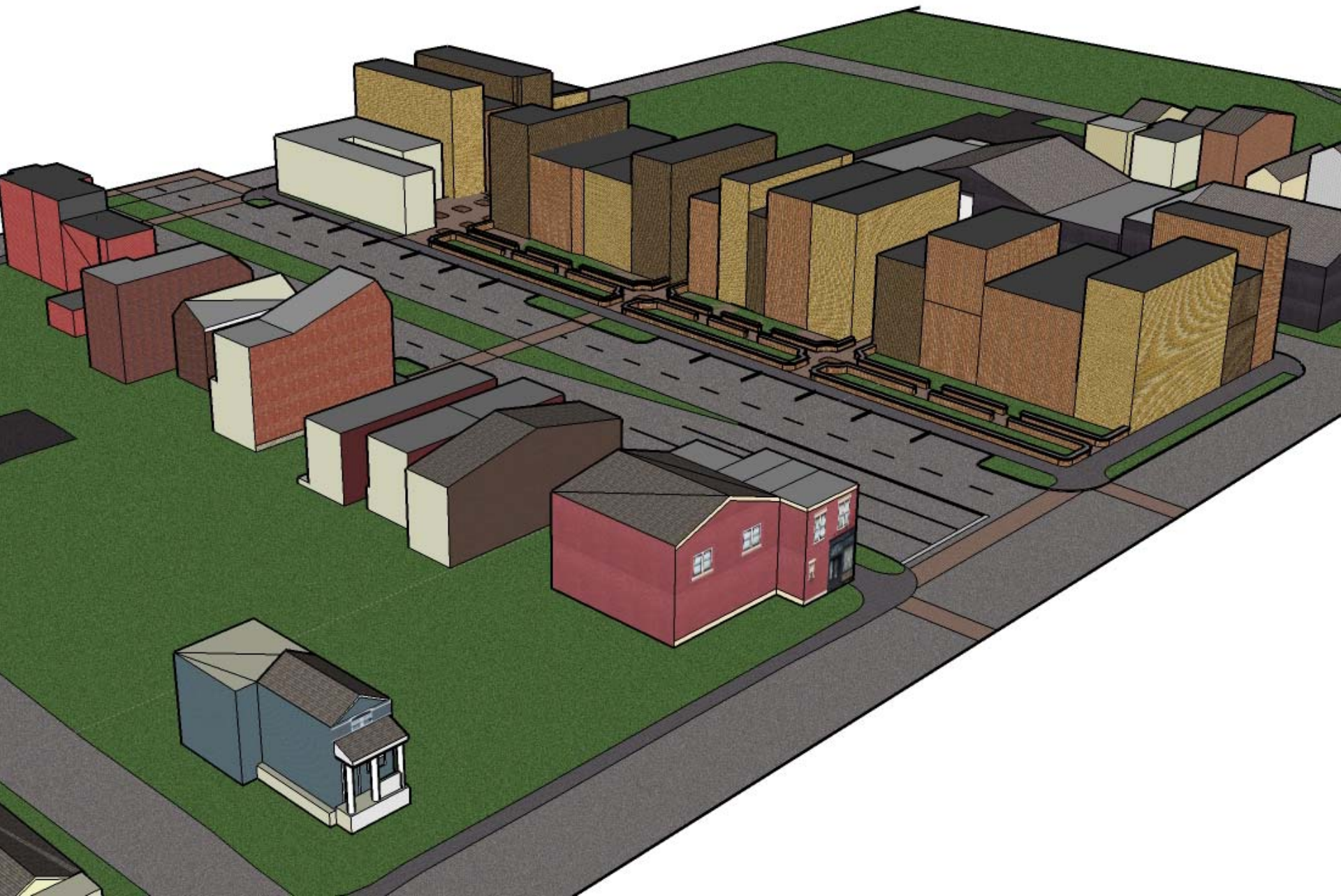
# Mass – Height

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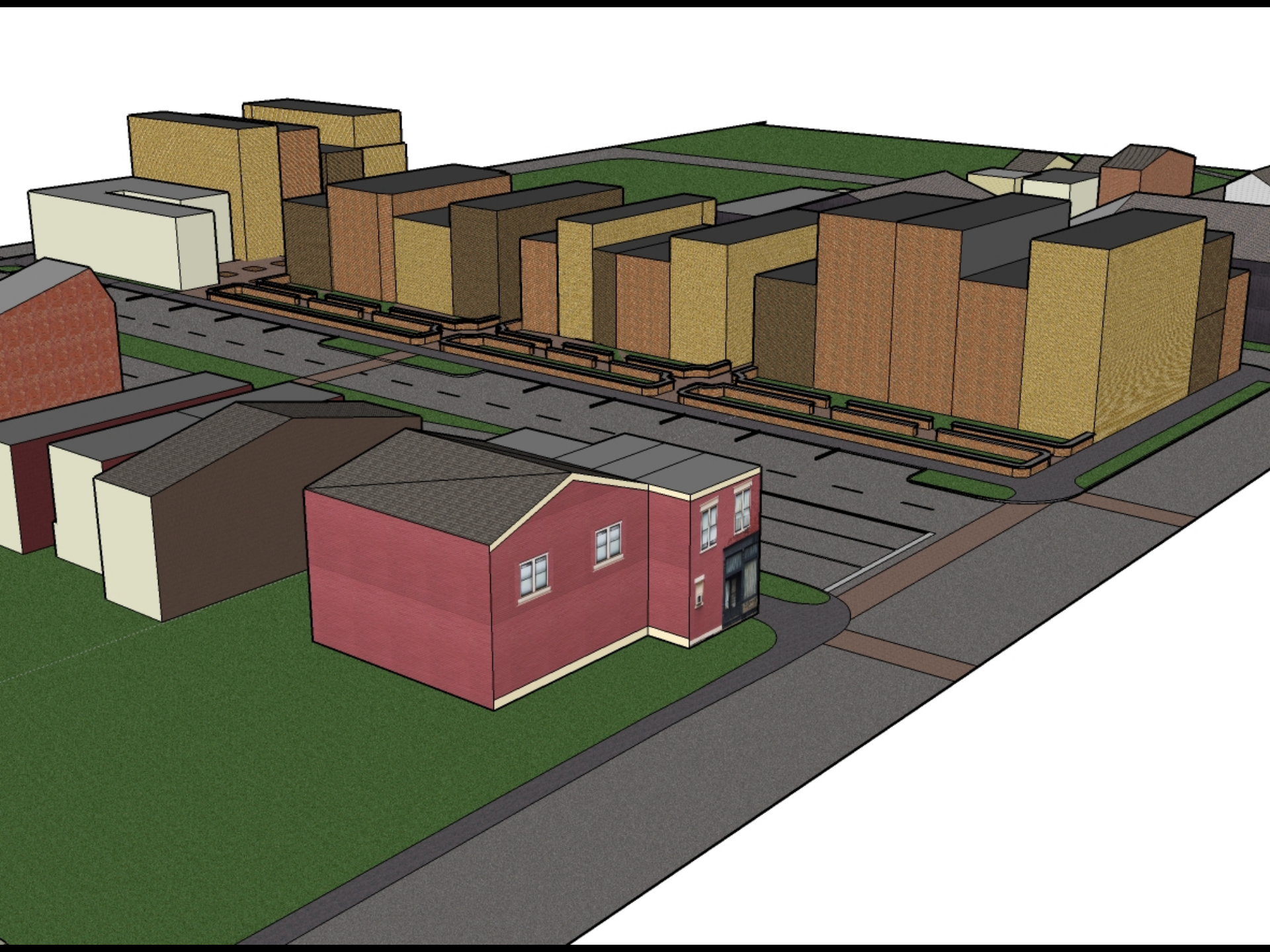
- *KYTC 12<sup>th</sup> Street Design Guidelines*
  - A building should appear to be similar in height to buildings in the area. The visual impacts of taller portions that exceed traditional heights should be minimized.
  - Floor-to-floor heights should appear to be similar to those seen traditionally.
    - *In particular, the openings in new construction should appear similar in height to those seen traditionally.*















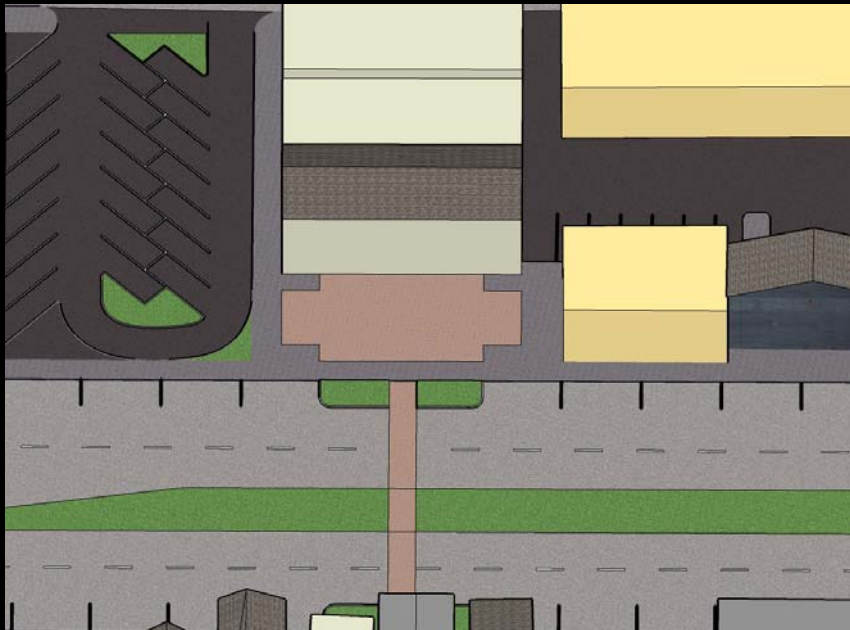
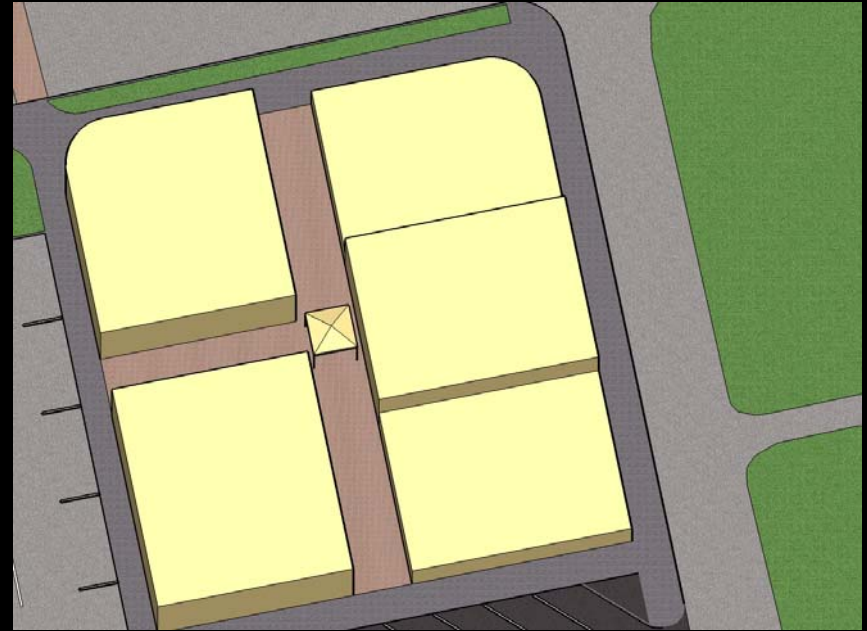
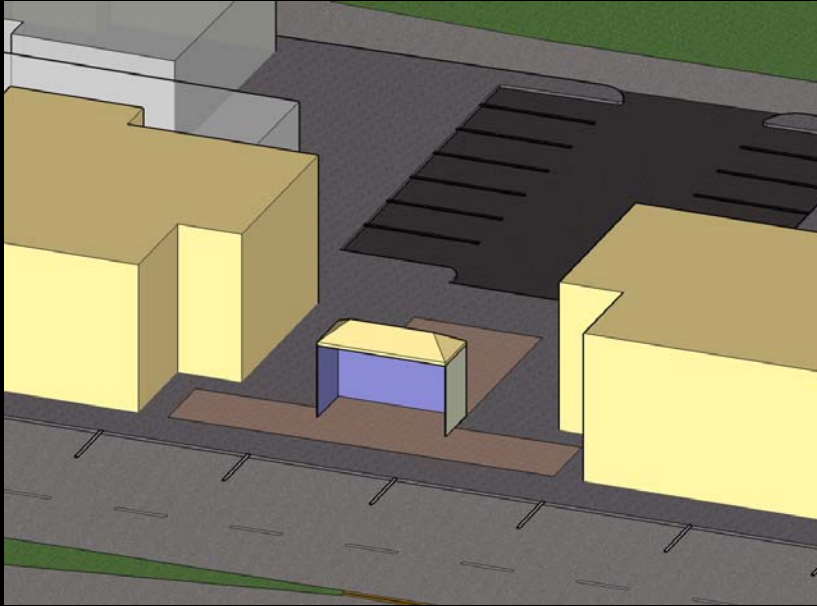


*Existing Form: Neighborhood Pocket Park*





*Redevelopment Concepts: Courtyards and Plazas*





*Redevelopment Concepts: Outdoor Dining*





*Existing Form: Wrought Iron and Masonry*





*Existing Form: Chain Link, Solid Wood, and Open Wood*





*Redevelopment Concepts: Solid Fences/Walls*



Limestone Wall

Masonry Wall



Solid Fence



## Redevelopment Concepts: Open Fences



Woven Wire



Chain Link Fence





*Redevelopment Concepts: Wrought Iron and Picket Fences*



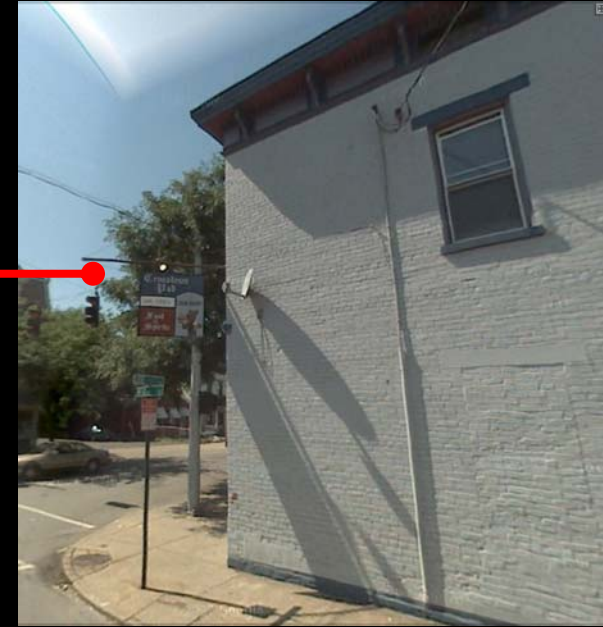
Wrought Iron



Picket Fences



## Existing Form: Projecting and Wall Signs



Projecting Signs

Wall Signs





## Existing Form: Window and Pole Signs



Window Signs



Pole Sign



## Redevelopment Concepts: Ground Signs





## Redevelopment Concepts: Pole Signs



*Redevelopment Concepts: Individual Letter Wall Signs*



## Redevelopment Concepts: Cabinet Wall Signs



## *Redevelopment Concepts: Projecting Signs*



## Redevelopment Concepts: Window Signs





## Redevelopment Concepts: Changeable Copy Signs



Electronic



Manual



*Existing Form: No examples*



*Redevelopment Concepts: Landscape Screening of Parking Areas from Streets*



*Redevelopment Concepts: Berms Adjacent to Streets*





*Redevelopment Concepts: Street Walls Adjacent to Streets*



*Existing Form: Full Cut-Off Tear Drop Style*



*Redevelopment Concepts: Off-Street Parking Areas*

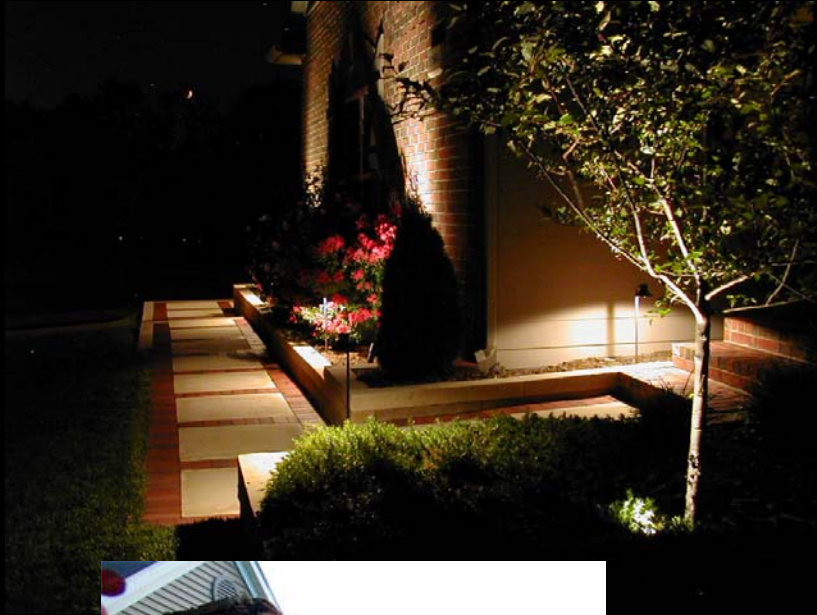




*Redevelopment Concepts: Architectural/Landscape Lighting*



*Redevelopment Concepts: Pedestrian Scale Lighting*





*Redevelopment Concepts: Flood Lights*



*Redevelopment Concepts: Signs*



# Purpose Statement Comments

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The purpose of the Linden **Gateway** Form District Zone (LGFD) is to provide for a pedestrian friendly, mixed use corridor consistent with the *Linden Gateway Small Area Study*'s recommended land use and transportation goals, objectives, policies, and strategies. This zone is intended to assist in the redevelopment of 12th Street/Martin Luther King, Jr. Boulevard so that it may serve as a destination for **residents** to live, work, and have access specialty retail, office, and service uses. The LGFD Zone regulations collectively promote historically sensitive site design, creating a sense of place within the corridor and providing a livable environment for existing residents while enhancing the value and aesthetics of the surrounding community. The design intent of the LGFD Zone is as follows:

- A. Ensure new development contributes positively to established residential neighborhoods and character, and improves the transition between commercial development and adjacent residential neighborhoods.
- B. Enhance the convenience, ease, and enjoyment of transit, walking, shopping, and public gathering within the neighborhood.
- C. Provide an appropriate mix of commercial, office, and residential uses that work together to create a harmonious streetscape.
- D. Establish building form and architectural standards compatible with the historic character of the **area**.



# Upcoming Meetings

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- Steering Committee

- January 20, 2010
- February 24, 2010

- Public Meetings

- WAC
- Peaselburg
- Old Seminary Square
- Other?